



BATH TOWNSHIP ZONING

Summit County, Ohio

3864 West Bath Road - P.O. Box 1188 - Bath, Ohio - 44210-1188
Phone: 330.666.4007 - Fax: 330.666.0305
www.bathtownship.org

CONDITIONAL USE APPLICATION

For office use only:	ARC File No.:	BZA File No.:
Associated permits:		

Applicant Data

Name: Luke and Serenity Messner

Company Name: _____

Address: 52 Clouse Avenue Akron OH 44333

Telephone No.: 330-608-8020 Email: luke.messner@gmail.com

Property Data

Zoning District: (circle one) R-1 R-2 (R-3) R-4 B-1 B-2 B-3 B-4 B-5

Corner Lot: Yes No Note: Corner lots are required to meet the front setback on both streets.

Property Address: 52 Clouse Avenue Akron OH 44333 Parcel No.: 0500284

Allotment Name: Montrose AC Lot No.: 8

Owner(s): Luke & Serenity Messner

Owner Address: 52 Clouse Avenue Akron OH 44333

Telephone No.: 330-608-8020

Conditional Use(s) Requested

Below list the specific section of the Zoning Resolution referencing the conditional use being sought as well as a description of each use. The Zoning Resolution is available online at www.bathtownship.org through the zoning link.

1. Section: 701-D Description: 701-D(2) Accessory Dwelling Unit -

In-law suite to accommodate multigenerational living.

2. Section: _____ Description: _____

Contiguous Property Owners

The Township will notify all property owners within a 300' buffer of the parcel in question.

Required Materials:

1. Six (6) copies of site plan and plans along with a digital copy (ex: .pdf) of site plan and plans (11 x 17 preferred). The site plan must show the following:
 - A North arrow and scale
 - Existing structures and dimensions
 - Driveway and road access locations (existing and/or proposed)
 - Proposed structure(s) and dimensions
 - All setbacks
 - Roads
 - Lot dimensions
 - Easements and details
 - Septic system and well location (if applicable)
 - Indicate the location of lakes, ponds, wetlands, ravines, or other unusual topography
 - Riparian Corridor(s) must be clearly indicated on all lots containing applicable watercoursesAll slopes greater than 18% must be indicated on a two (2) foot contour interval map with the contours extending at least 100 feet beyond the lot lines.
2. If applicable, six (6) copies of the building/construction plans along with a digital copy (ex: .pdf) showing major details including height data must be submitted with the application (11 x 17 preferred).
3. A statement supported by substantiating evidence regarding the requirements enumerated in Article 3, Section 309:
 - (1) The use is a conditional use, permitted with approval by the BZA, in the district where the subject lot is located;
 - (2) The use is in accordance with the objectives of the Bath Township Comprehensive Plan and zoning resolution; and
 - (3) The conditional use will not substantially and/or permanently injure the appropriate use of neighboring properties and will serve the public convenience and welfare.
 - (4) The BZA shall also consider the following as applicable to the subject application:
 - (A) The comparative size, floor area and mass of the proposed structure(s) in relationship to adjacent structures and buildings in the surrounding properties and neighborhood;
 - (B) The frequency and duration of various indoor and outdoor activities and special events and the impact of these activities on the surrounding area;
 - (C) The number of transit movements generated by the proposed use and relationship to the amount of traffic on abutting streets and on minor streets in the surrounding neighborhood;
 - (D) The capacity of adjacent streets to handle increased traffic in terms of traffic volume;
 - (E) The added noise level created by activities associated with the proposed use and the impact of the ambient noise level of the surrounding area and neighborhood;
 - (F) The requirements for public services where the demands of the proposed use are in excess of the individual demand of adjacent land uses in terms of police and fire protection, and the presence of any potential fire or other hazards created by the proposed use;
 - (G) The general appearance of the neighborhood will not be adversely affected by the location of the proposed use on the parcel;
 - (H) The impact of night lighting in terms of intensity and duration and frequency of use as it impacts adjacent properties and in terms of presence in the neighborhood;
 - (I) The impact of the landscaping of the proposed use in terms of maintained landscaped areas versus areas to remain in a natural state, and the openness of landscape versus the use of buffers and screens;
 - (J) The impact of a significant amount of hard-surfaced areas for building, sidewalks, drives, parking areas and service areas in terms of noise transfer, water runoff and heat generation;
 - (K) The potential for the proposed use to remain in existence for a reasonable period of time and not become vacant or unused. Consideration should also be given to unusual single purpose structures or components of a more temporary nature; and
 - (L) Any other physical or operational feature or characteristic that may affect the public health, safety and welfare.

4. Applicant shall state a reasonable time to complete development plans or proposed structure.
5. The recommendations of the Appearance Review Commission if applicable.
6. Digital copy of all required documents (i.e. email .pdf file).

Applicant Certification

Applicant Signature:  Date: 9/22/2025

Fee – due at time of application (make check payable to Bath Township Trustees)

- for residential applications – two hundred and fifty dollars (\$250.00)
- for commercial/business applications – three hundred and fifty dollars (\$350.00)

For Office Use Only

Appearance Review Commission File No.: ARC - -

Board of Zoning Appeals File No.: BZA - -

Hearing Date: _____ Public Notice Date: _____

Published In: _____ Abutting Property Owners Notification Date: _____

- Approved Approved with Conditions Denied

Comments: _____

Zoning Inspector Signature: _____ Date: _____

Rear Setback Variance & Conditional Use Request for Accessory Dwelling Unit
52 Clouse Avenue, Akron, OH 44333

To the Members of the Bath Township Board of Zoning Appeals,

We are writing to respectfully request the following for our property at 52 Clouse Avenue, Akron, OH 44333:

1. A rear setback variance, and
2. Conditional use approval for an accessory dwelling unit (ADU) to support multigenerational living.

We purchased our home in 2018 and have come to deeply appreciate and enjoy being part of the Bath Township community. Over the past six years, we have grown to love this area—not only as residents, but as engaged members of the broader Bath community.

As local business owners, we are both members of the Bath Business Association and supporters of the Bath Community Fund. Our families have moved nearby, and as we prepare to start our own family, we are committed to making this our long-term residence. To support that vision, we are pursuing a thoughtful home construction project that accommodates multigenerational living while respecting the character of our home and neighborhood.

Project Background & Request

We are currently in the planning phase of a renovation and expansion project involving our 100+ year-old home. Plans have been submitted, and construction will begin pending review and approvals of Bath Township Zoning Department and this committee.

This project includes both restoration and new build elements, designed to preserve the home's historic charm while adding modern functionality. The scope includes:

- A larger kitchen and updated living areas
- A new master suite for aging-in-place
- A second-floor laundry
- A three-car garage
- An accessory dwelling unit (ADU) in the form of an in-law suite to support multigenerational living

The ADU will be attached to the primary structure and function as a self-contained living space, consistent with the Township's goals to encourage housing flexibility and aging-in-place.

As part of this project, we are requesting:

- A rear setback variance: Our existing structure already encroaches within the 50-foot rear yard setback. We are requesting an additional 4 feet of depth, aligned with the current structure, not projecting significantly beyond the established line.
- A conditional use approval for the ADU: The accessory dwelling is designed to support family caregiving and is not intended as an investment property.

Justification per Sec. 309-C of the Zoning Resolution

We believe our requests meet the conditions outlined in Section 309-C of the Bath Township Zoning Resolution, and offer the following rationale:

1. Permitted Conditional Use

The ADU is a conditional use permitted with BZA approval in the zoning district, and the rear setback modification falls under permitted variance consideration.

2. Alignment with the Bath Township Comprehensive Plan

- Supports aging-in-place and multigenerational living
- Encourages investment in historic homes
- Promotes responsible, resident-focused development

3. No Substantial Impact on Neighbors or Community

- We are submitting letters of support from adjacent neighbors, who understand and support our plan.
- The project respects the scale, style, and character of the neighborhood and enhances overall property value.

4. Other Relevant Considerations

- The visual scale and massing of the proposed addition are consistent with neighboring properties and will not adversely affect the appearance of the neighborhood.
- The project will result in no change to traffic, lighting, noise, or public service demands.
- No existing landscaping will need to be removed. In fact, we have planted and maintained over 125 trees, shrubs, and perennials on the property since moving in in 2018, demonstrating our long-term commitment to the appearance, health, and environmental quality of our home and community.
- Drainage and runoff are being thoughtfully addressed in the design to preserve existing green space and prevent any negative impact to surrounding properties.

- The accessory dwelling unit (ADU) will be owner-occupied and. It is not intended for commercial use.
- This project reflects a long-term investment in Bath Township and our neighborhood. The home will remain owner-occupied, well-maintained, and rooted in the spirit of family, community, and preservation.

This project represents our commitment to staying rooted in Bath Township for the long term while creating a home that meets the needs of our growing and extended family. We believe this request is reasonable, considerate, and in the spirit of the zoning code. We thank the Board for your time and consideration.

Luke & Serenity Messner

52 Clouse Avenue

Akron, OH 44333

330-608-8020 (Luke Cell)

Luke.messner@gmail.com



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Summit County, Ohio

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ZONING VARIANCE APPLICATION

For office use only:	ARC File No.:	BZA File No.:
Associated permits:		

Applicant Data

Name: Luke & Serenity Messner

Company Name: _____

Address: 52 Cloube Avenue Akron OH 44333

Telephone No.: 330-608-8020 Email: luke.messner@gmail.com

Property Data

Zoning District: (circle one) R-1 R-2 R-3 R-4 B-1 B-2 B-3 B-4 B-5

Corner Lot: Yes No Note: Corner lots are required to meet the front setback on both streets.

Property Address: 52 Cloube Avenue Akron OH 44333 Parcel No.: 0560284

Allotment Name: Montrose AC Lot No.: 8

Owner(s): Luke & Serenity Messner

Owner Address: 52 Cloube Avenue Akron OH 44333

Telephone No.: 330-608-8020

Variance(s) Requested

Below list the specific section from the Zoning Resolution from which the variance is being sought along with a description of each variance. The Zoning Resolution is available online at www.bathtownship.org through the zoning link.

1. Section: 504-B Description: 504-B(1) Minimum Rear Yard setback of 50'

2. Section: _____ Description: _____

3. Section: _____ Description: _____

4. Section: _____ Description: _____

Contiguous Property Owners

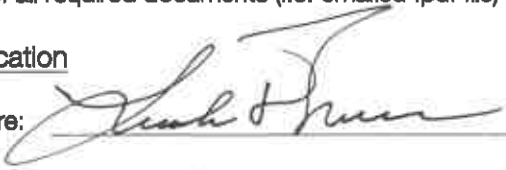
The Township will notify all property owners within a 300' buffer of the parcel in question.

Required Site Plan Data and Architectural/Construction Drawings

1. Six (6) copies of site plan and plans along with a digital copy (ex: .pdf) of site plan and plans (11 x 17 preferred). The site plan must show the following:
 - A North arrow and scale
 - Existing structures and dimensions
 - Driveway and road access locations (existing and/or proposed)
 - Proposed structure(s) and dimensions
 - All setbacks
 - Roads
 - Lot dimensions
 - Easements and details
 - Septic system and well location (if applicable)
 - Indicate the location of lakes, ponds, wetlands, ravines, or other unusual topography
 - Riparian Corridor(s) must be clearly indicated on all lots containing applicable watercourses
 - All slopes greater than 18% must be indicated on a two (2) foot contour interval map with the contours extending at least 100 feet beyond the lot lines
2. If applicable, Six (6) copies of the building/construction plans along with a digital copy (ex: .pdf) showing major details including height data must be submitted with the application (11 x 17 preferred).
3. The "Bath Township Area Variance Supplemental Form" shall be filled out completely for each variance requested.
4. Digital copy of all required documents (i.e. emailed .pdf file)

Applicant Certification

Applicant Signature: _____



Date: _____

9/22/2023

Fee – due at time of application (make check payable to Bath Township Trustees)

- for residential applications – two hundred and fifty dollars (\$250.00)
- for commercial/business applications – three hundred and fifty dollars (\$350.00)
- for major subdivisions or use variances – five hundred dollars (\$500.00)

For Office Use Only

Appearance Review Commission

File No.: ARC - -

Board of Zoning Appeals

File No.: BZA - -

Hearing Date: _____

Public Notice Date: _____

Published In: _____

Abutting Property Owners Notification Date: _____

- Approved Approved with Conditions Denied

Comments: _____

Zoning Inspector Signature: _____

Date: _____



BATH TOWNSHIP AREA VARIANCE SUPPLEMENTAL FORM

PROJECT OVERVIEW

Provide an overview of the project:

Renovate current 100+ year old home, expand home to include larger kitchen, new master-suite, second floor laundry, three car garage, and in law suite for multigenerational living.

PRACTICAL DIFFICULTIES

The following factors shall be considered and weighed by the BZA to determine practical difficulty. If a factor is not applicable, please note that factor as "Not Applicable":

- A. Explain special conditions or circumstances that exist which are peculiar to your land or structure involved and which are not applicable generally to other lands or structures in the same Zoning District. (Examples of this are: exceptional irregularity, narrowness, shallowness or steepness of the lot, or adjacency to nonconforming and inharmonious uses, structures or conditions):

Current home and garage do not meet minimum rear setback of 50'. We will keep same rear footprint of house and are requesting additional 4' for garage to accommodate modern vehicles + storage.

- B. Explain how the property in question would not yield a reasonable return on investment or there could not be any beneficial use of the property without the variance.

Without this variance, we will likely not proceed with our renovation and will likely look to sell the home.

- C. Explain whether the variance is substantial or not:

Based on the existing footprint of the home, we do not feel this variance is substantial. We have proactively met with our neighbors and have their approval.

- D. Explain whether the essential character of the neighborhood would be substantially altered or if adjoining properties would suffer a substantial detriment as a result of the variance.

We believe this will add to the character of the neighborhood.

- E. Explain whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage, fire, street services,).

We do not believe this would adversely affect the delivery of government services. We have proactively reached out to Summit County Health.

- F. Did the applicant purchase the property with or without knowledge of the applicable zoning restriction?

When we purchased this home in 2018, we did not know the home was under the minimum rear setback.

- G. Explain whether the special conditions or circumstances (listed in response to question A above) were a result of actions of the applicant or prior owners.

Based on the age of the home (1913), it is likely the garage was added prior to zoning standards.

- H. Demonstrate whether the applicant's predicament feasibly can be resolved through a method other than a variance (e.g., a zone-conforming but unworkable example, or by minimizing the variance).

We believe we could reduce the garage depth by 4' and add to the front of the house; however, this would require substantial concrete work (existing driveway) and removing landscaping.

- I. Explain whether the spirit and intent behind the zoning requirement would be observed and/or substantial justice done by granting the variance.

We appreciate that Bath Township has zoning standards, it is part of what keeps Bath beautiful. If we receive this variance, our intent is to stay at this location for many years to come.

**No single factor listed above may control, and not all factors may be applicable in each case. Each case shall be determined on its own facts.*

To Whom It May Concern,

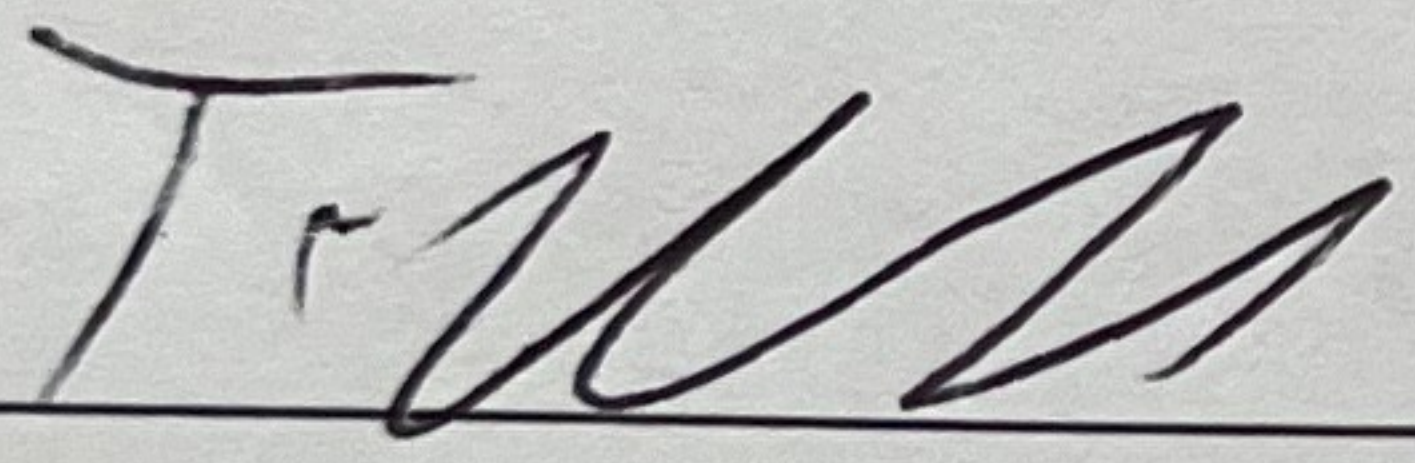
We, Timothy and Sally Wadsworth, reside at 53 Clouse Avenue, adjacent (east) to 52 Clouse Avenue. We are aware of and fully support our neighbors' plans for a home renovation and addition, including a request for a rear setback variance and a conditional use for an accessory dwelling unit.

We understand that the proposed construction at 52 Clouse Avenue includes the addition of 4 feet of depth beyond the current footprint and the creation of an in-law suite to support multigenerational living. We have reviewed the plans and believe that this project will not negatively impact our property, home value, or quality of life. In fact, we believe it will contribute positively to the neighborhood by maintaining the character of the community and supporting long-term, thoughtful reinvestment in the property.

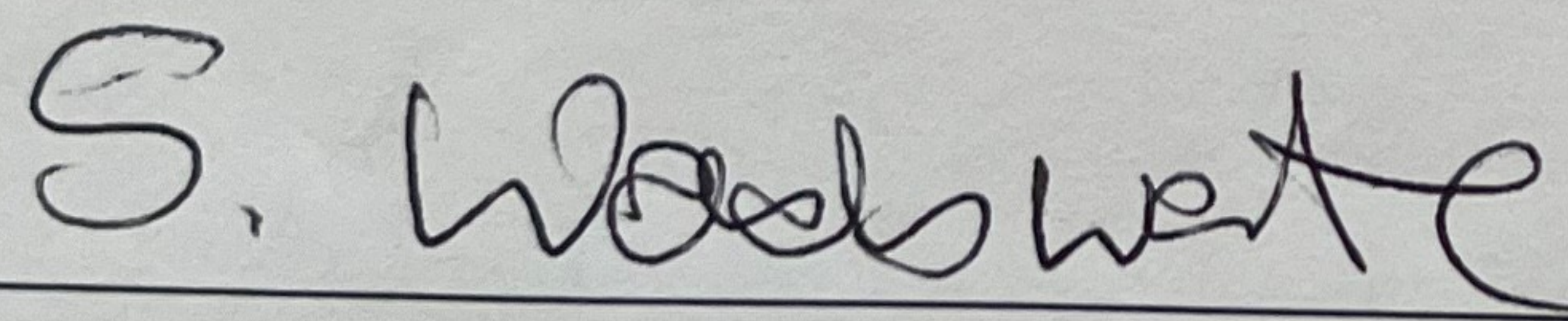
We are happy to offer our support for this thoughtful project and respectfully encourage Bath Township to approve the request.

Sincerely,

Timothy Wadsworth



Sally Wadsworth



Date: 9/22/2025

To Whom It May Concern,

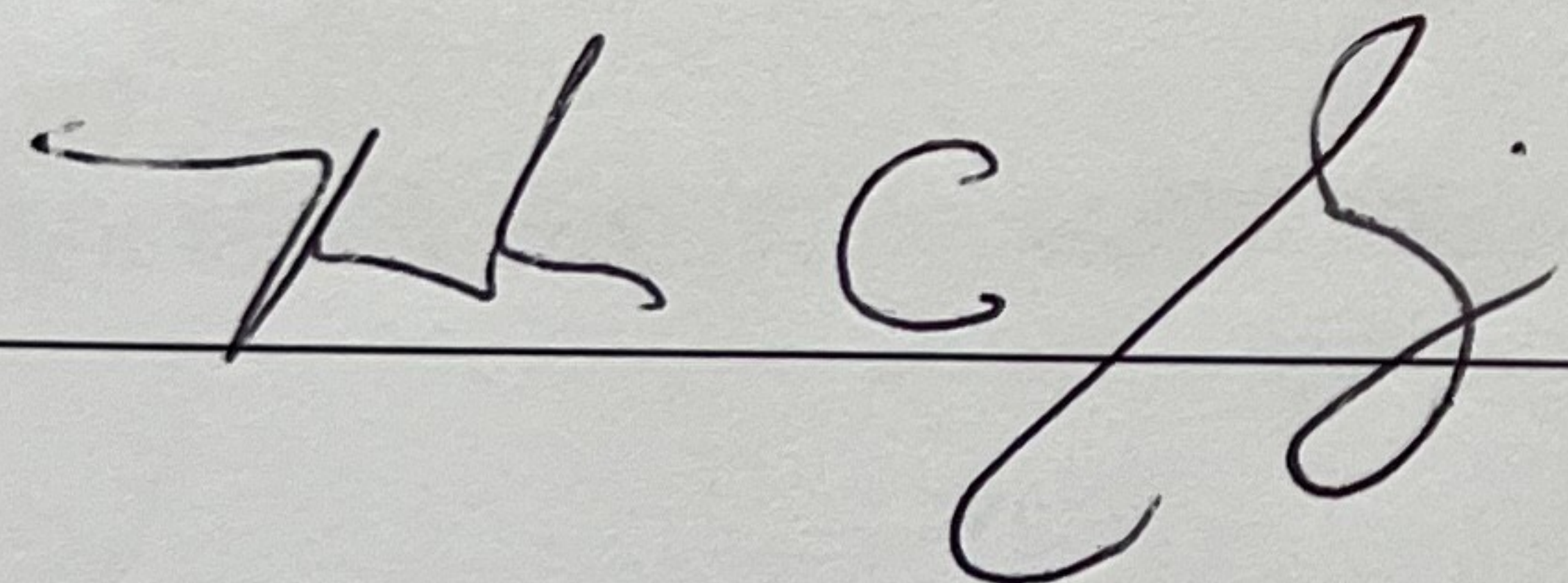
We, Mark & Claire Sandvig, reside at 3398 Montrose Avenue, directly adjacent (west) to 52 Clouse Avenue. We are aware of and fully support our neighbors' plans for a home renovation and addition, including a request for a rear setback variance and a conditional use for an accessory dwelling unit.

We understand that the proposed construction at 52 Clouse Avenue includes the addition of 4 feet of depth beyond the current footprint and the creation of an in-law suite to support multigenerational living. We have reviewed the plans and believe that this project will not negatively impact our property, home value, or quality of life. In fact, we believe it will contribute positively to the neighborhood by maintaining the character of the community and supporting long-term, thoughtful reinvestment in the property.

We are happy to offer our support for this thoughtful project and respectfully encourage Bath Township to approve the request.

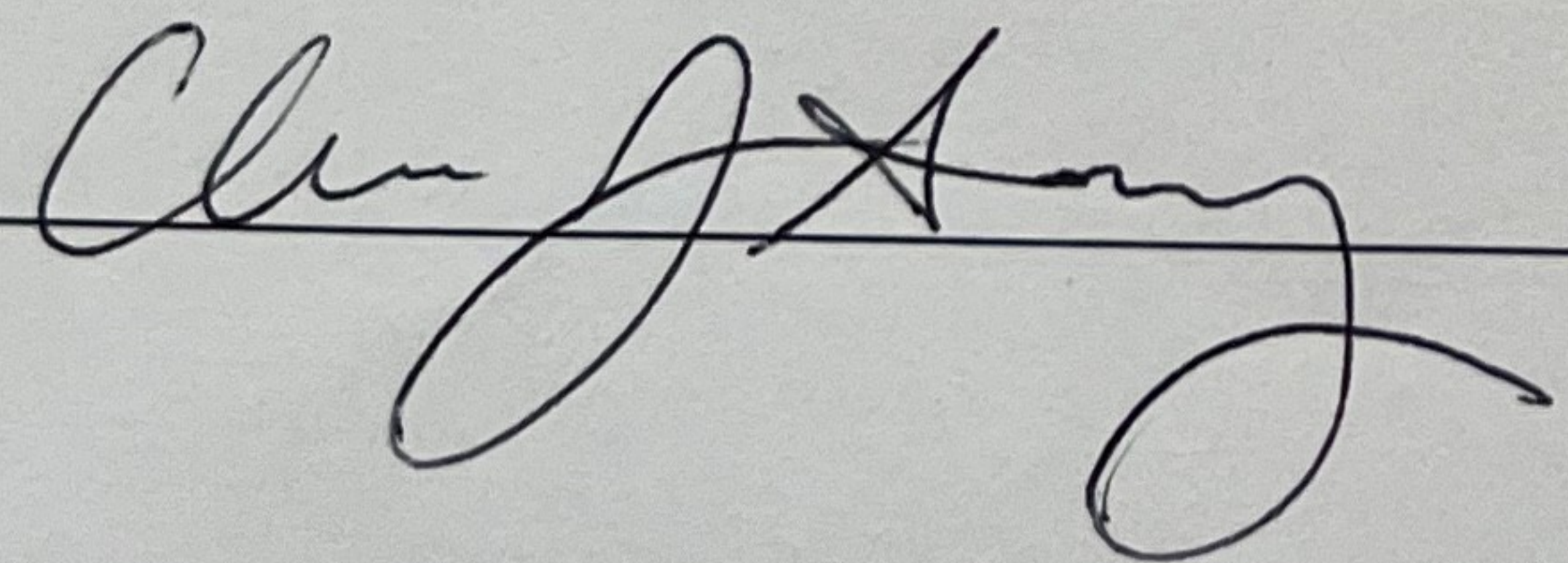
Sincerely,

Mark Sandvig



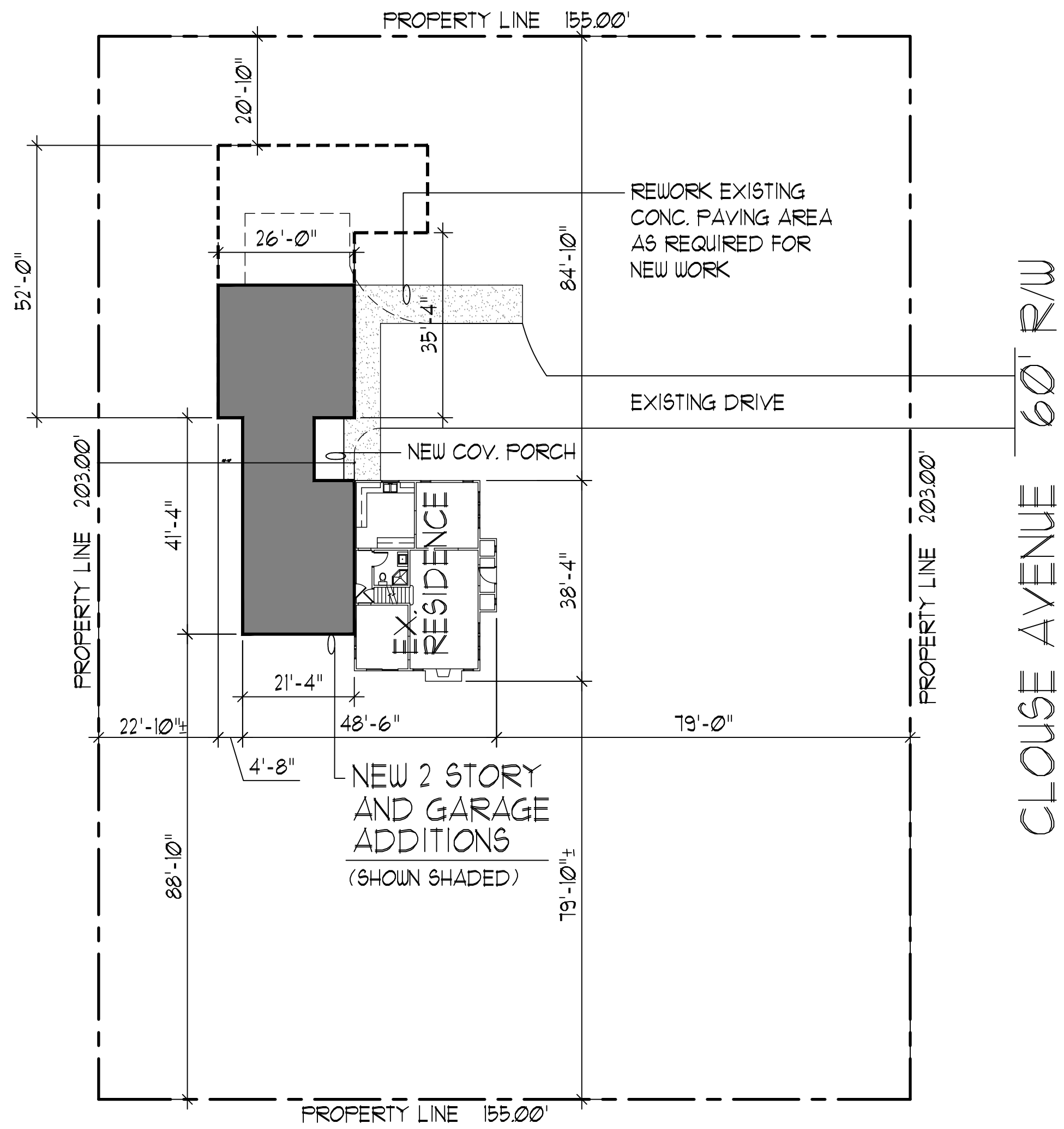
A handwritten signature in black ink, appearing to be 'M. Sandvig', written over a horizontal line.

Claire Sandvig

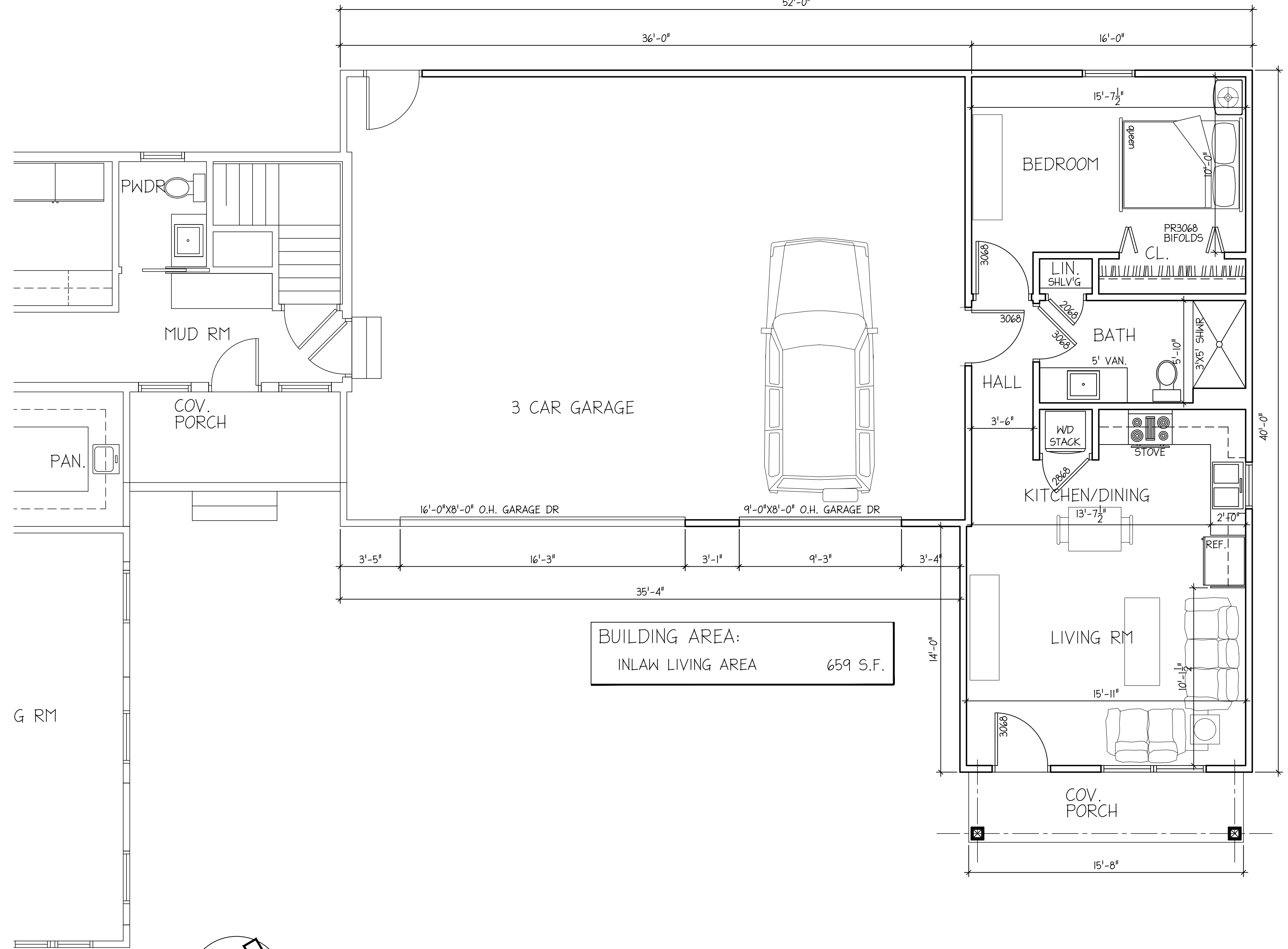


A handwritten signature in black ink, appearing to be 'Claire Sandvig', written over a horizontal line.

Date: 9/22/25



PRELIMINARY SITE PLAN
 SCALE: 1" = 20'-0"



PRELIMINARY INLAW SUITE FLOOR PLAN
 SCALE: 1/4" = 1'-0"

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:
MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

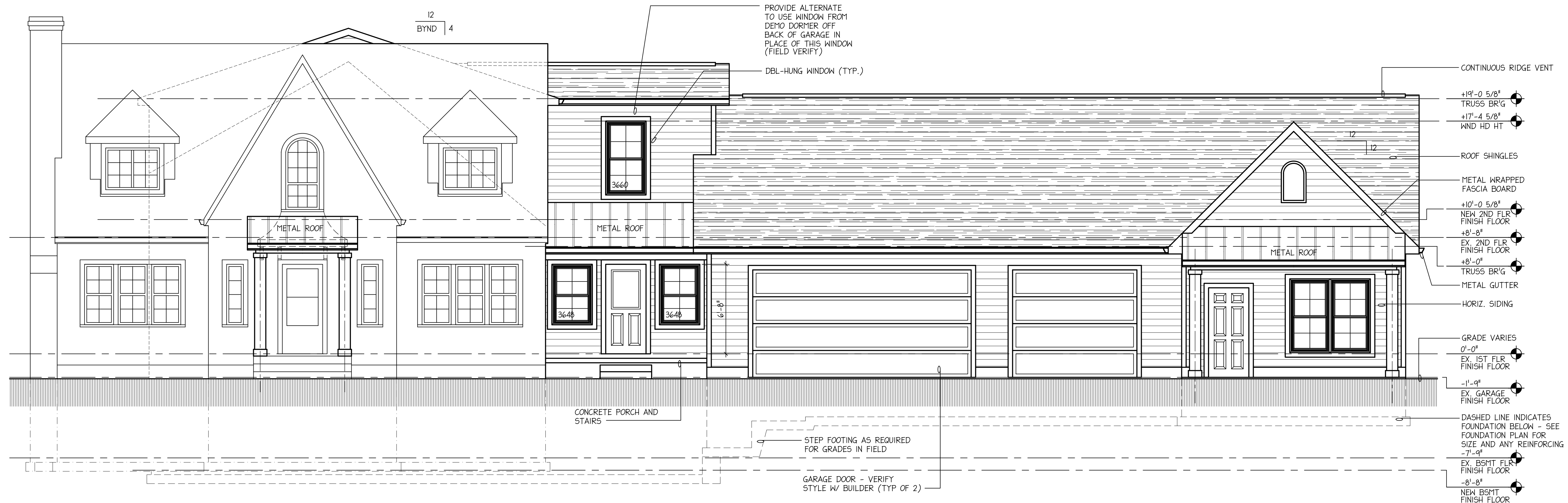
Preliminary
 Inlaw Floor
 Plan

Project number:
 Date: 09-20-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A101

Scale: See Plan



A PRELIMINARY EXTERIOR 'FRONT' ELEVATION
 SCALE: 1/4"=1'-0"



B PRELIMINARY EXTERIOR 'SIDE' ELEVATION
 SCALE: 1/4"=1'-0"

BUILDER:

Preliminary
 Exterior
 Elevations

Project number:
 Date: 09-20-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A102
 Scale: See Plan

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER

RESIDENCE

52-CLOUSE AVENUE
AKRON, OHIO 44333



Draftec, Inc.
Commercial / Residential
CAD Drafting Services
455 Palm Ave./Akron, Ohio 44301
Phone: 330.773.8835
Email: draftec@gmail.com

BUILDER:

DRAWING INDEX:

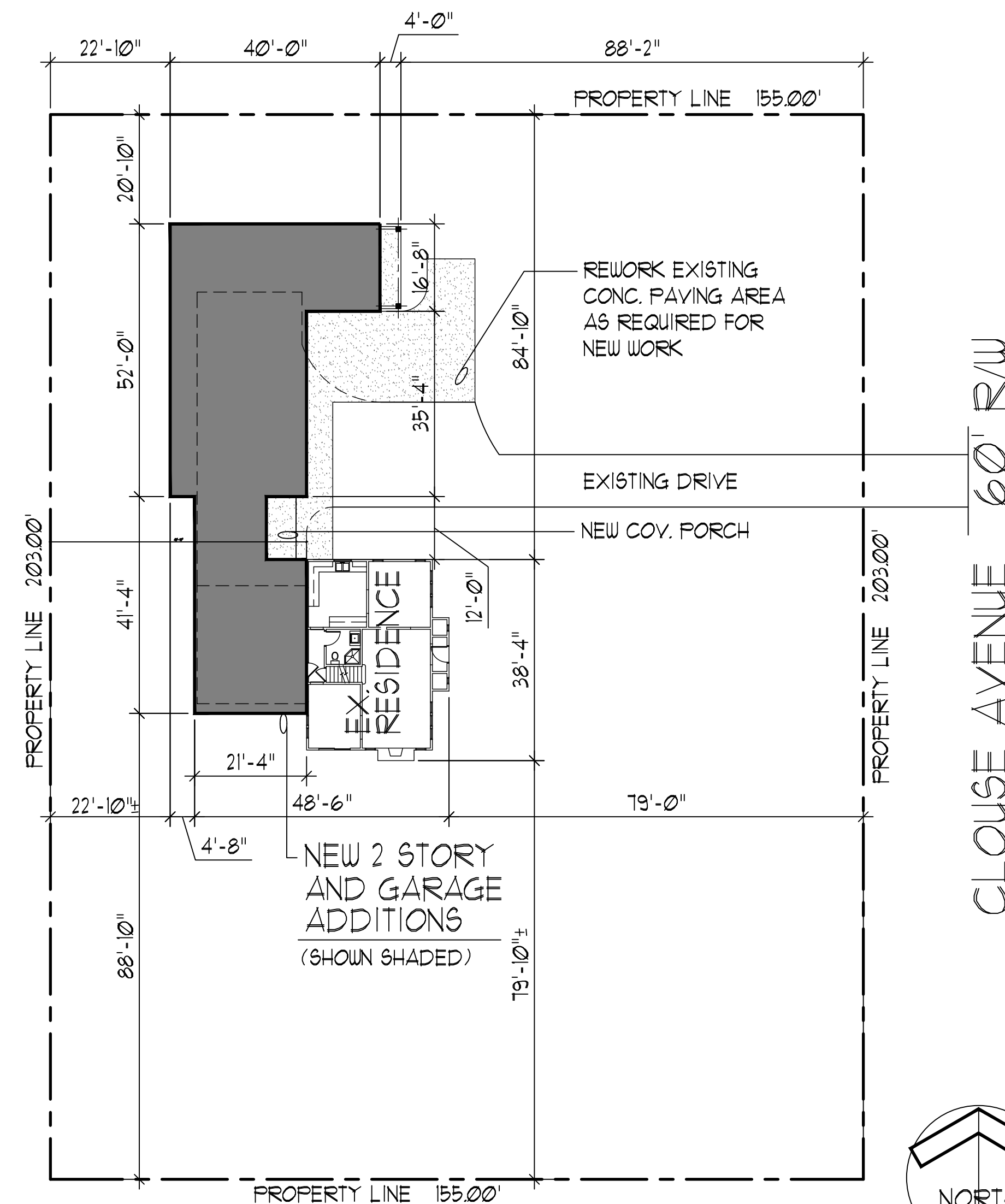
- A001 COVER SHEET/SITE PLAN
- A101 EXISTING FLOOR PLANS W/ DEMO
- A102 EXISTING FLOOR AND ROOF PLANS W/ DEMO
- A103 EXISTING EXTERIOR ELEVATIONS W/ DEMO
- A104 FOUNDATION/BASEMENT FLOOR PLAN
- A105 FIRST FLOOR PLAN
- A106 SECOND FLOOR PLAN
- A107 ROOF PLAN
- A108 WALL SECTIONS
- A109 EXTERIOR ELEVATIONS W/ SECTION
- A110 EXTERIOR ELEVATIONS W/ SECTION
- A111 FIRST FLOOR FRAMING PLAN
- A112 SEC. FLR/LOW ROOF FRAMING PLANS
- A113 ROOF FRAMING PLAN W/ SECTION
- A114 ELECTRICAL FIRST FLOOR PLAN
- A115 ELECTRICAL BSMT & SECOND FLOOR PLANS

ENERGY CODE:

ENERGY CODE COMPLIANCE:
PER OHBA ALTERNATIVE ENERGY CODE OPTION
(COMPLIANCE PATH #1-Table 1112.1)
FENESTRATION U FACTOR = .32
CEILINGS R-VALUE = R-49
WOOD FRAMED WALLS R-VALUE = R-15 (R-19 USED)
CRAWLSPACE WALL R-VALUE = R-10

AREAS:

NEW FIRST FLOOR LIVING AREA	800 S.F.
NEW SEC. FLOOR LIVING AREA	822 S.F.
NEW INLAW SUITE LIVING AREA	659 S.F.
TOTAL NEW LIVING AREA:	2,281 S.F.
NEW 3 CAR GARAGE	910 S.F.
NEW SIDE COV. PORCH	68 S.F.
NEW INLAW COV. PORCH	63 S.F.



DATE: SEPTEMBER 27, 2025
BID / SUBMITTAL SET

REVISIONS:

NOTE:
CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

GENERAL NOTES:

- 1.) THESE DRAWINGS ARE FOR REFERENCE ONLY.
- 2.) ALL WORK SHALL BE AS PER ALL APPLICABLE CODES & ORDINANCES.
- 3.) ALL SYSTEMS SHALL BE BY OTHERS.
- 4.) CONTRACTOR/BUILDER SHALL COORDINATE ALL WORK AND BE RESPONSIBLE FOR ALL DISCREPANCIES WHICH MAY OCCUR.
- 5.) CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & COORDINATE AS REQUIRED.

PLEASE NOTE THE FOLLOWING:

THE DRAFTSMAN WHO PREPARED THIS PRINT IS NOT AN ARCHITECT. HE WARRANTS ONLY THAT THESE PLANS ARE OF WORKMANLIKE QUALITY. THESE DRAWINGS REPRESENT THE SPECIFICATIONS AND SIZES PROVIDED BY THE CUSTOMER. ALL DIMENSIONS AND BUILDING CODE CONFORMITY IS TO BE VERIFIED BY THE GENERAL CONTRACTOR, WHOM SHALL BE RESPONSIBLE FOR THE SAME. THE DRAFTSMAN WHO PREPARED THESE DRAWINGS IS NOT RESPONSIBLE FOR THE QUALITY OF WORKMANSHIP OR OTHER DETAILS REGARDING THE CONSTRUCTION, DESIGN, OR ARCHITECTURE OF THIS BUILDING.

Cover Sheet /
Site Plan

Project number:

Date:

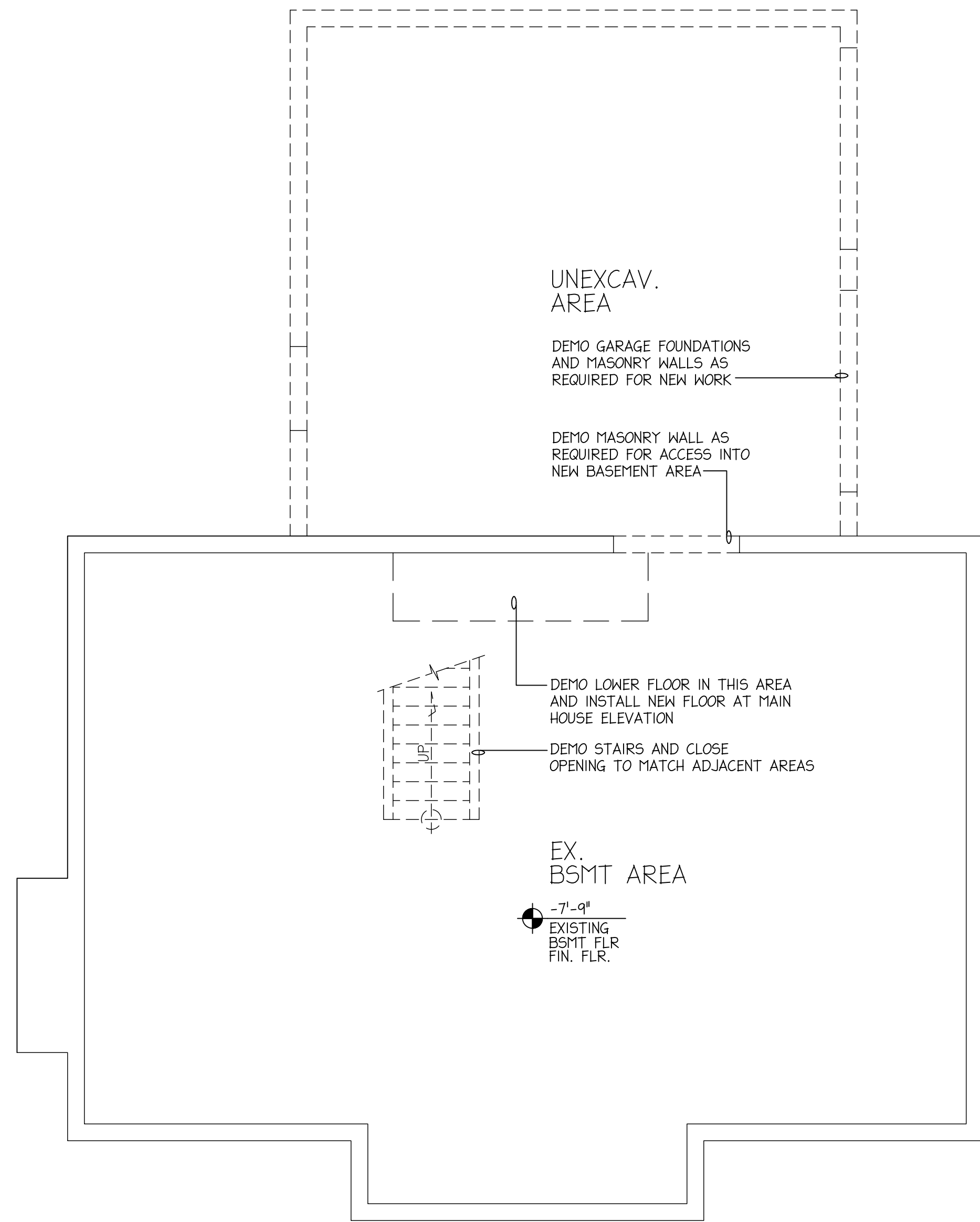
Revisions:

Drawn by: B. Bigelow

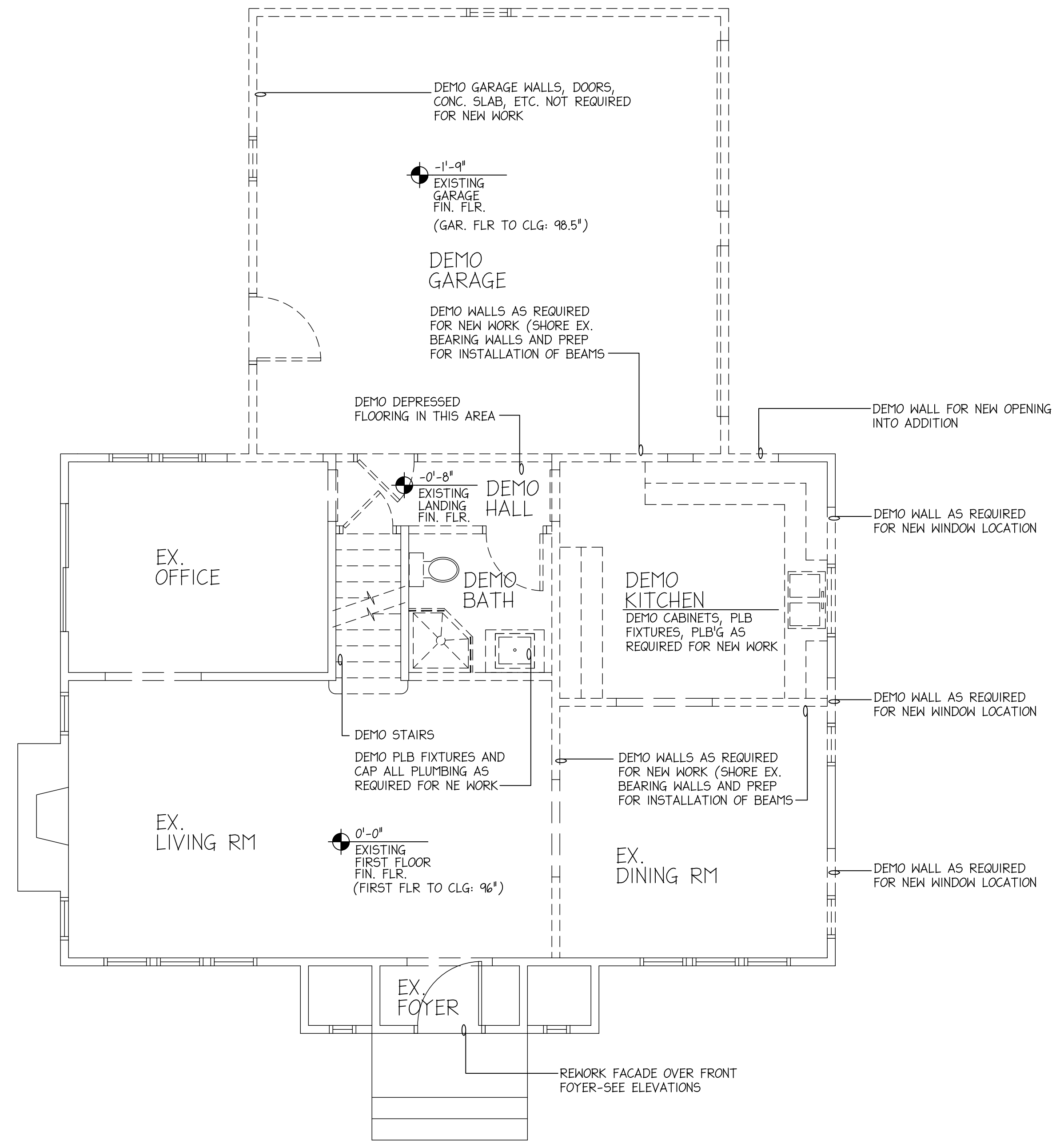
Checked by: BSB

A001

Scale: See Plan



NORTH
EXISTING BASEMENT FLOOR PLAN W/ DEMO
 SCALE: 1/4"=1'-0"



NORTH
EXISTING FIRST FLOOR PLAN W/ DEMO
 SCALE: 1/4"=1'-0"

NOTE:
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BUILDER:

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 52 CLOUSE AVENUE / AKRON, OHIO 44333

Ex. Bsmt and First Floor Plans w/ Demo

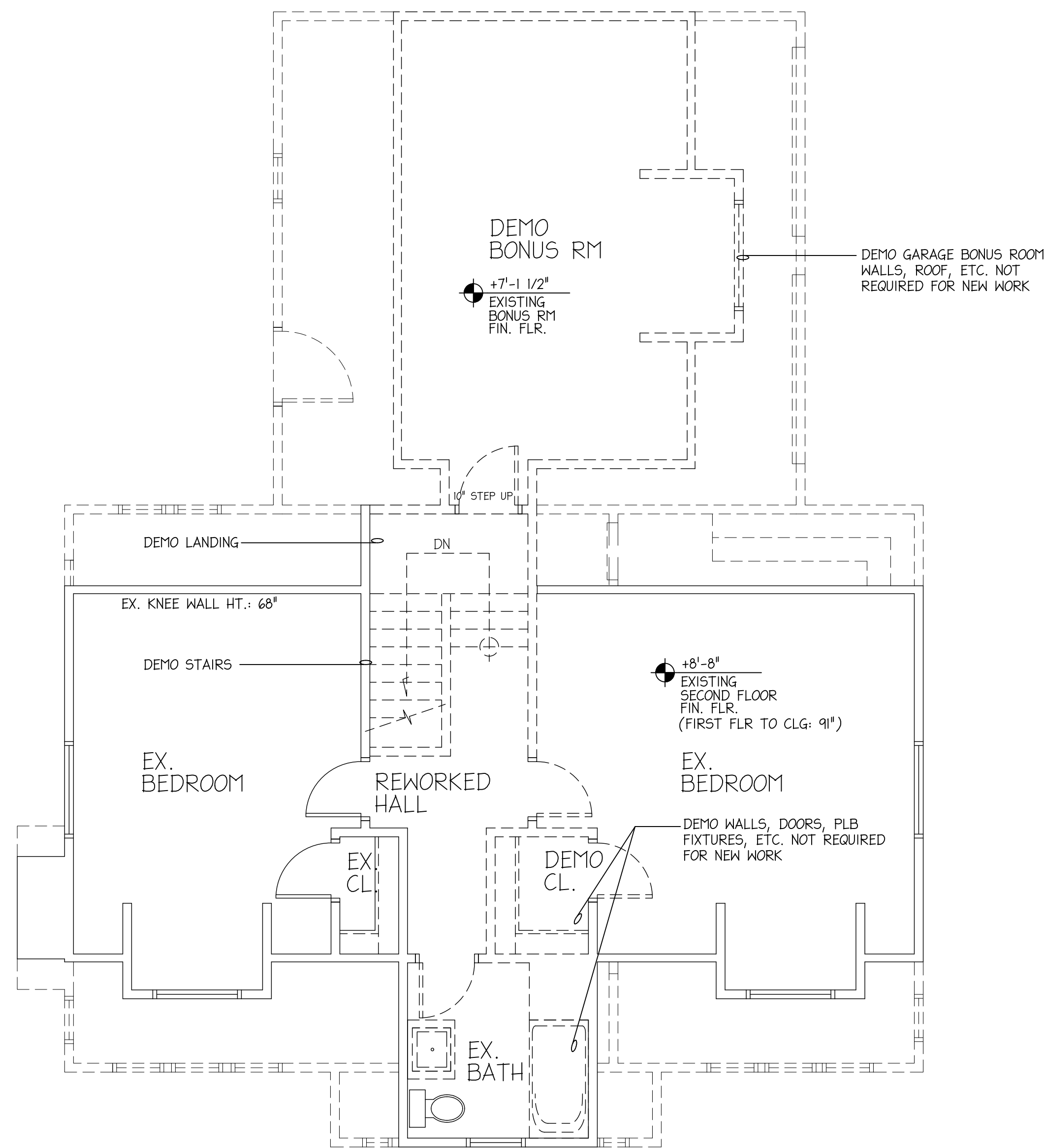
Project number:
 Date: 09-27-2025

Revisions:

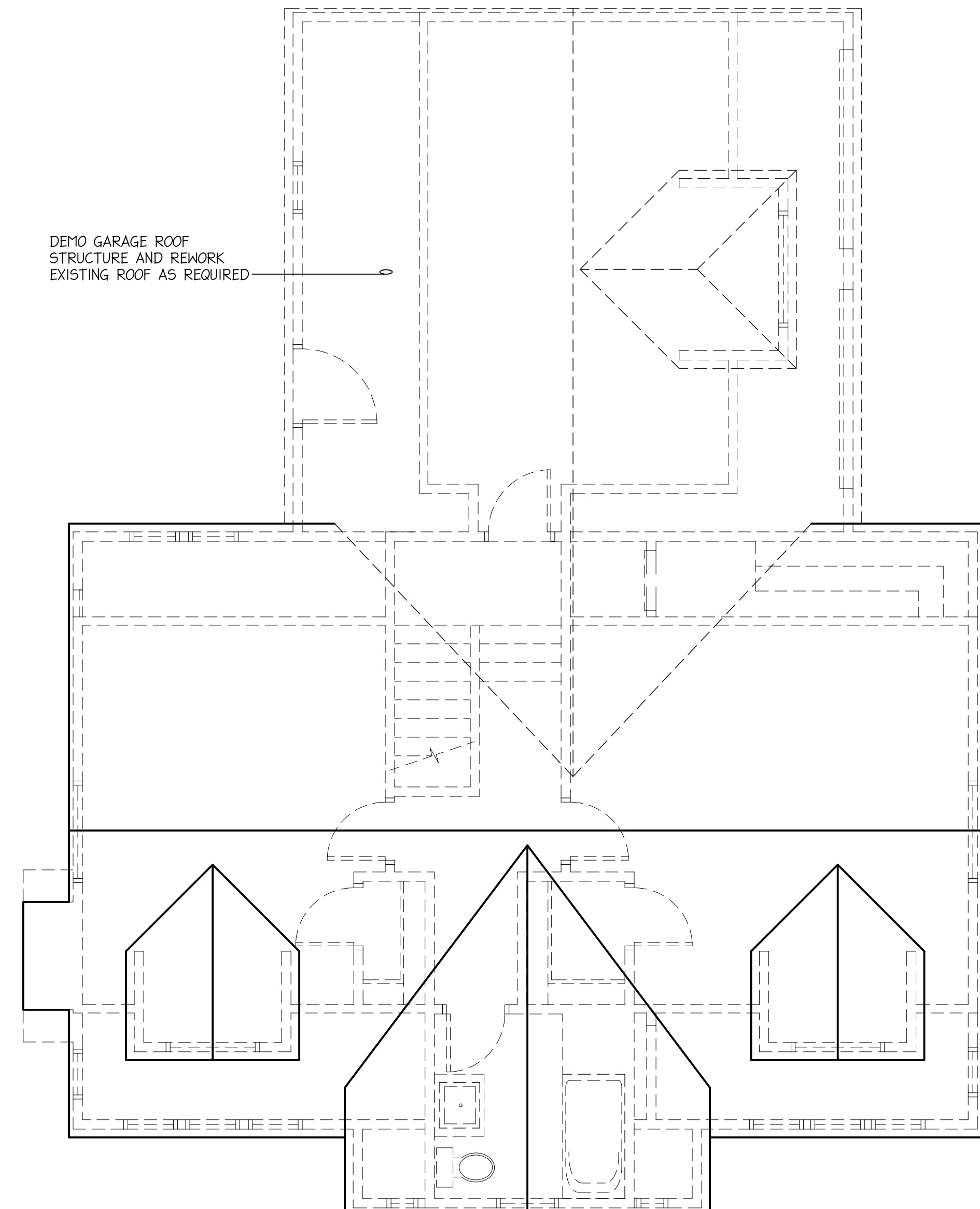
Drawn by: B. Bigelow
 Checked by: BSB

A101

Scale: See Plan



EXISTING SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"
 NORTH



EXISTING ROOF PLAN
 SCALE: 1/4"=1'-0"
 NORTH

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Ex. Second and Roof Plans w/ Demo

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A102

Scale: See Plan

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Existing Exterior Elevations w/ Demo

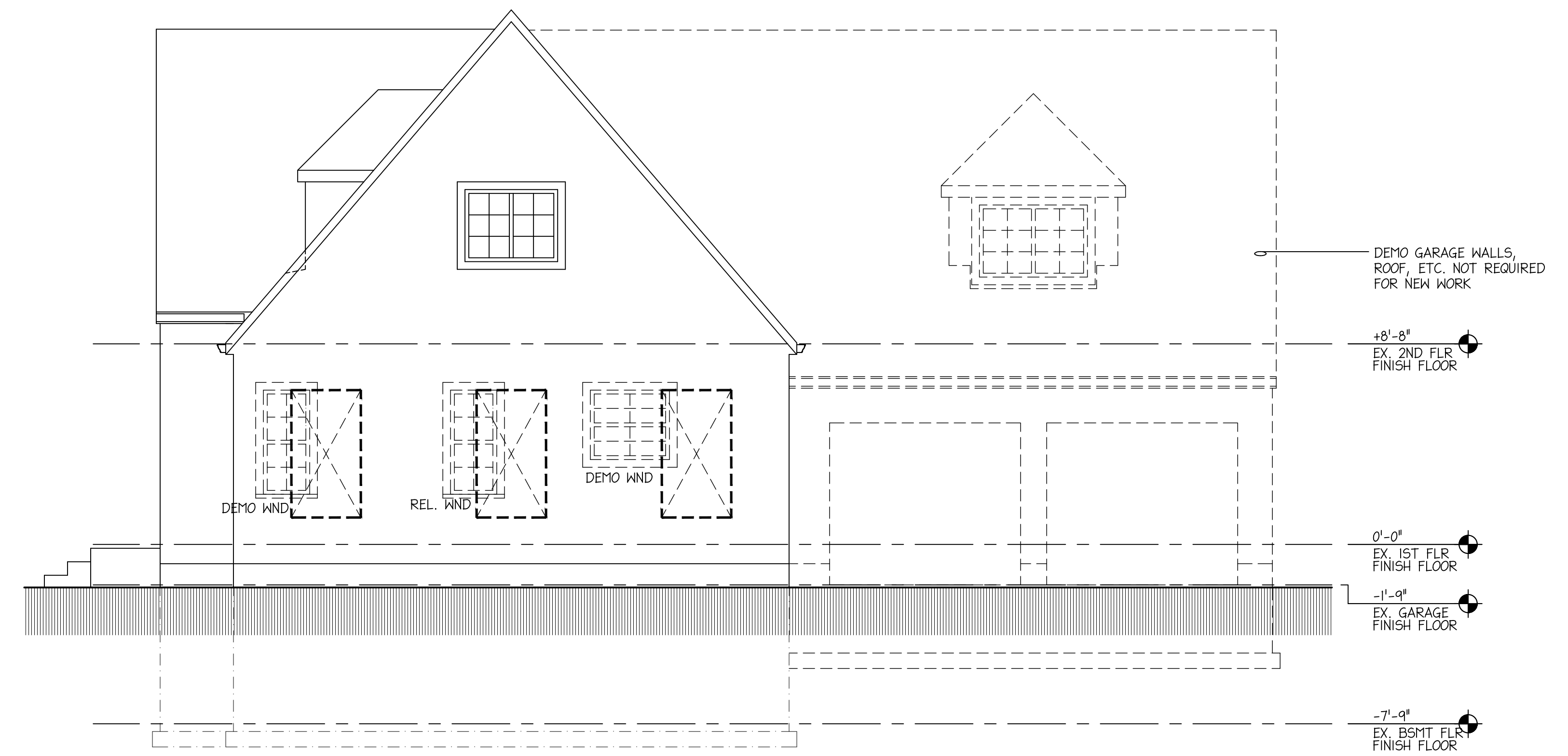
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A103
 Scale: See Plan



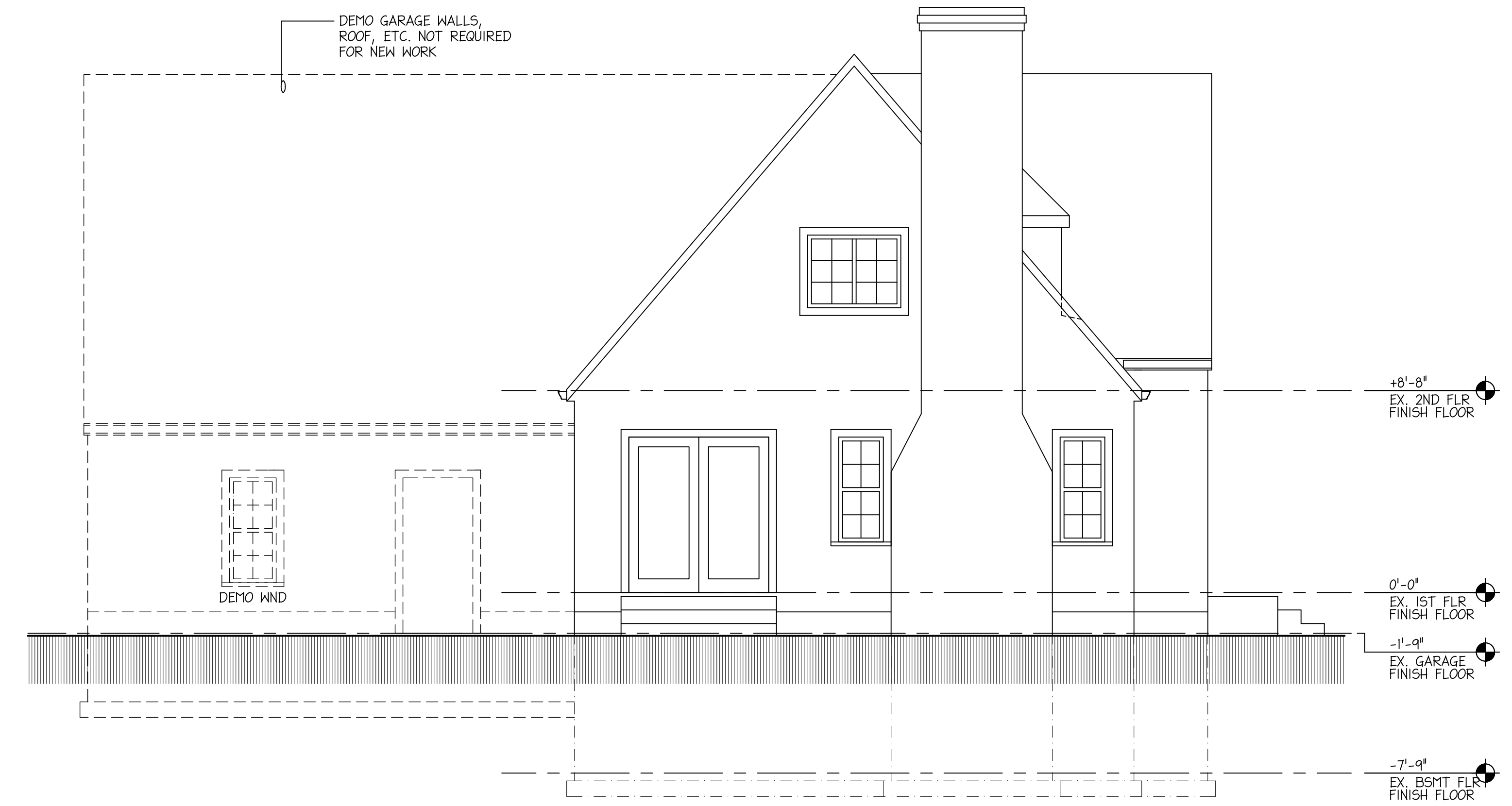
A EXISTING EXTERIOR 'FRONT' ELEVATION
 A103 SCALE: 1/4"=1'-0"



B EXISTING EXTERIOR SIDE' ELEVATION
 A103 SCALE: 1/4"=1'-0"

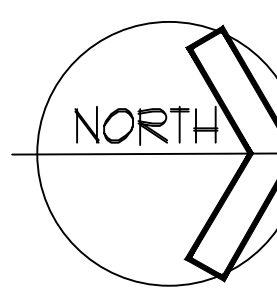
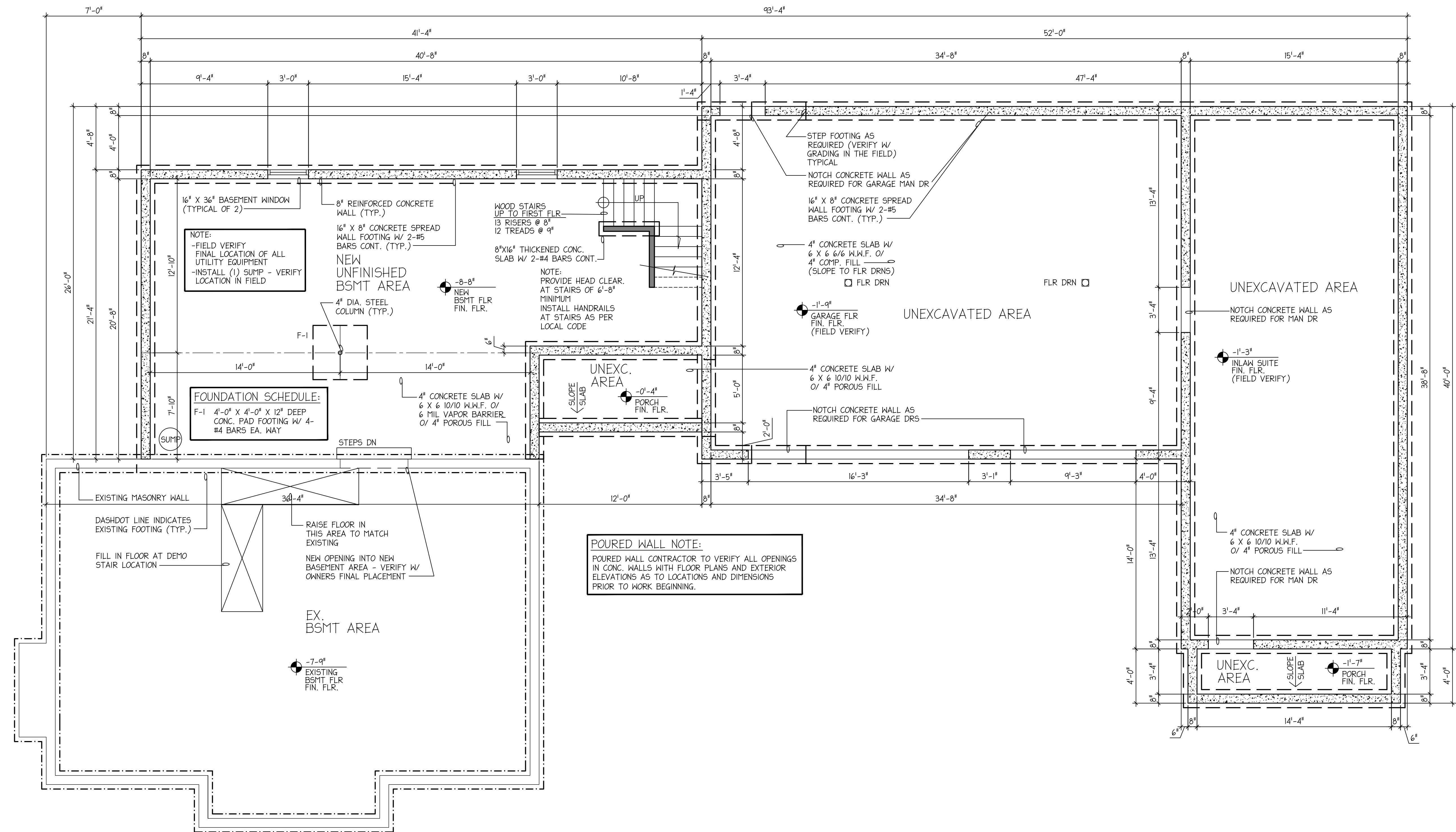


C EXISTING EXTERIOR 'REAR' ELEVATION
 A103 SCALE: 1/4"=1'-0"



D EXISTING EXTERIOR SIDE' ELEVATION
 A103 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.



FOUNDATION/BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTE:
ALL FOUNDATIONS AND STRUCTURAL MEMBERS SHOWN IN THESE PLANS ARE FOR BIDDING PURPOSES ONLY. FINAL SIZES ARE TO BE DETERMINED BY OTHERS AND MEMBER SIZES TO BE SUBMITTED TO BUILDING DEPARTMENT ALONG WITH PLANS.

NOTE:
CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

STRUCTURAL NOTES:

FOUNDATION NOTES

SOIL BEARING CAPACITY 1500 PSF

ALL NEW FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL OF DESIGN CAPACITY. MINIMUM DEPTH SHALL BE 3'-6" BELOW GRADE UNLESS NOTED OTHERWISE. EXCAVATE FOOTINGS DOWN TO THE ELEVATIONS INDICATED ON THE FOUNDATION PLANS OR FOOTING SCHEDULE. IF SOIL CONDITIONS ARE ENCOUNTERED OTHER THAN WHAT IS DESCRIBED ABOVE, CONSULT WITH THE BUILDER.

ALL CONCRETE FOR FOOTINGS TO BE 5 1/2 SACK, 3000 PSI DESIGN STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.

REINFORCING STEEL SHALL CONFORM TO ASTM STANDARD SPECIFICATION A-615, GRADE 60, AND TO BE INSTALLED AND TIED AS PER DRAWINGS AND THE LATEST EDITION OF CRSI PRINTED STANDARDS.

ALL CONCRETE WORK TO BE INSTALLED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF ACI CODE STANDARDS.

ALL FOOTINGS TO BE FORMED WITH 1-1/2" FORMS TO THE SHAPE INDICATED ON THE DRAWINGS. EXCAVATIONS MAY BE USED WITHOUT FORMS IF CUT STRAIGHT, TRUE, AND TO THE PROPER SIZE AND APPROVED BY THE LOCAL BUILDING AUTHORITY.

ALL CONCRETE FLAT SLABS SHALL BE 6 SACK - 4000 PSI DESIGN STRENGTH AT 28 DAYS. ALL REINFORCING SHALL BE AS SHOWN ON THE DRAWINGS.

PROVIDE AIR ENTRAINMENT (6%) CONCRETE FOR ALL WORK EXPOSED TO THE WEATHER.

DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL FLOOR SLABS ARE IN PLACE.

ALL FOOTINGS ARE TO REST ON FIRM UNDISTURBED SOIL, OF BEARING CAPACITY NOTED, REGARDLESS OF ELEVATIONS SHOWN ON DRAWINGS. WHERE ROCK OR SHALE IS THE BEARING MATERIAL PROVIDE 6" DEEP PENETRATION.

ALL SOIL SURROUNDING AND UNDER FOOTINGS SHALL BE PROTECTED FROM FROST ACTION AND FREEZING DURING THE COURSE OF CONSTRUCTION.

BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 1'-0" BELOW EXISTING GRADE.

STEP BOTTOM OF FOOTING, WHERE REQUIRED, AT A RATE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL MAXIMUM VERTICAL STEP 2'-0".

WHERE FOOTINGS ARE IN CLOSE PROXIMITY OF SEWERS, BOTTOM OF FOOTINGS SHALL BE AT LEAST 8" BELOW INVERT ELEVATION OF SEWERS.

KEEP FOUNDATION EXCAVATIONS FREE OF WATER AT ALL TIMES.

USE LEAN CONCRETE (10% 1500 PSI) FOR OVER-EXCAVATION OF FOOTINGS AND REPLACEMENT OF WEAKENED SOIL.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE

52 CLOUSE AVENUE / AKRON, OHIO 44333

Foundation/
Basement
Floor Plan

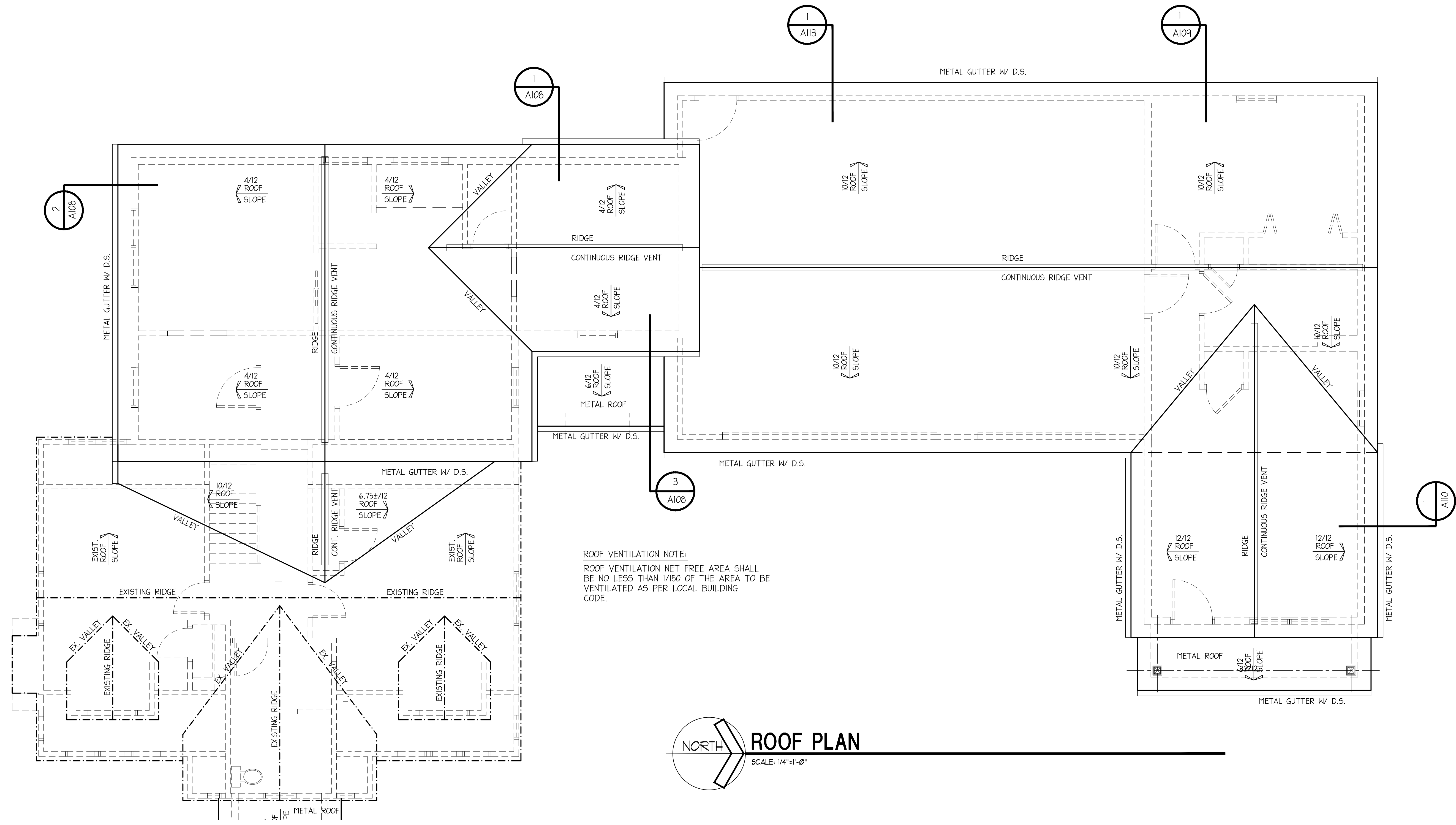
Project number:
Date: 09-27-2025

Revisions:

Drawn by: B. Bigelow
Checked by: BSB

A104

Scale: See Plan



ROOF VENTILATION NOTE:
 ROOF VENTILATION NET FREE AREA SHALL
 BE NO LESS THAN 1/150 OF THE AREA TO BE
 VENTILATED AS PER LOCAL BUILDING
 CODE.

ROOF PLAN
 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

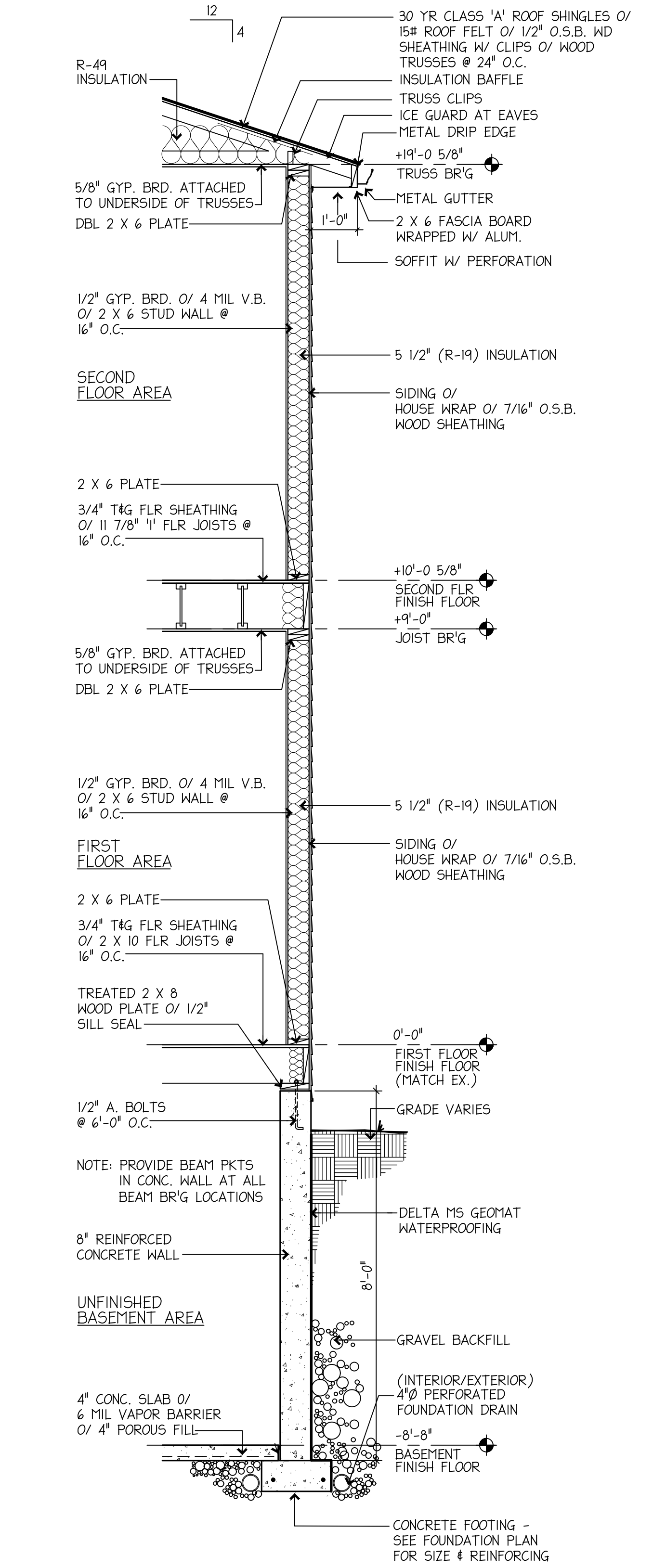
Roof Plan

Project number:
 Date: 09-27-2025
 Revisions:

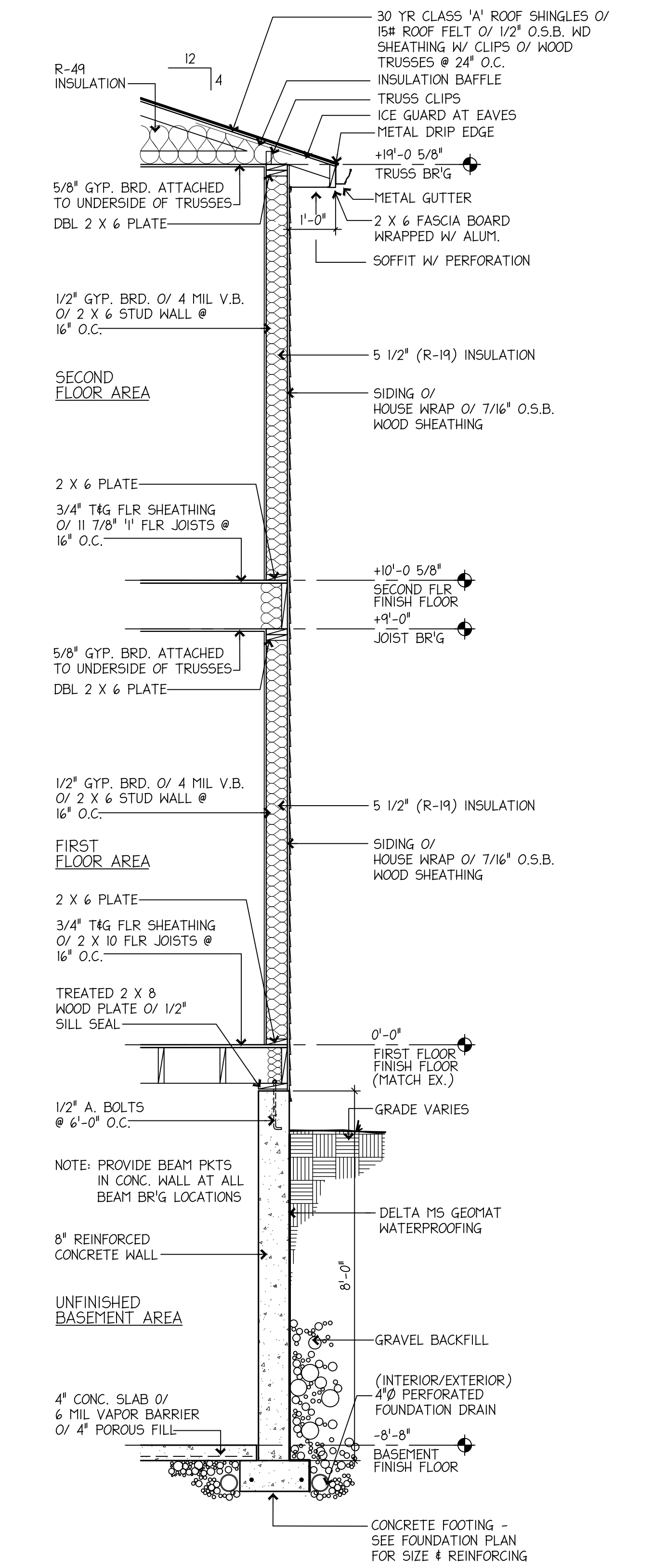
Drawn by: B. Bigelow
 Checked by: BSB

A107

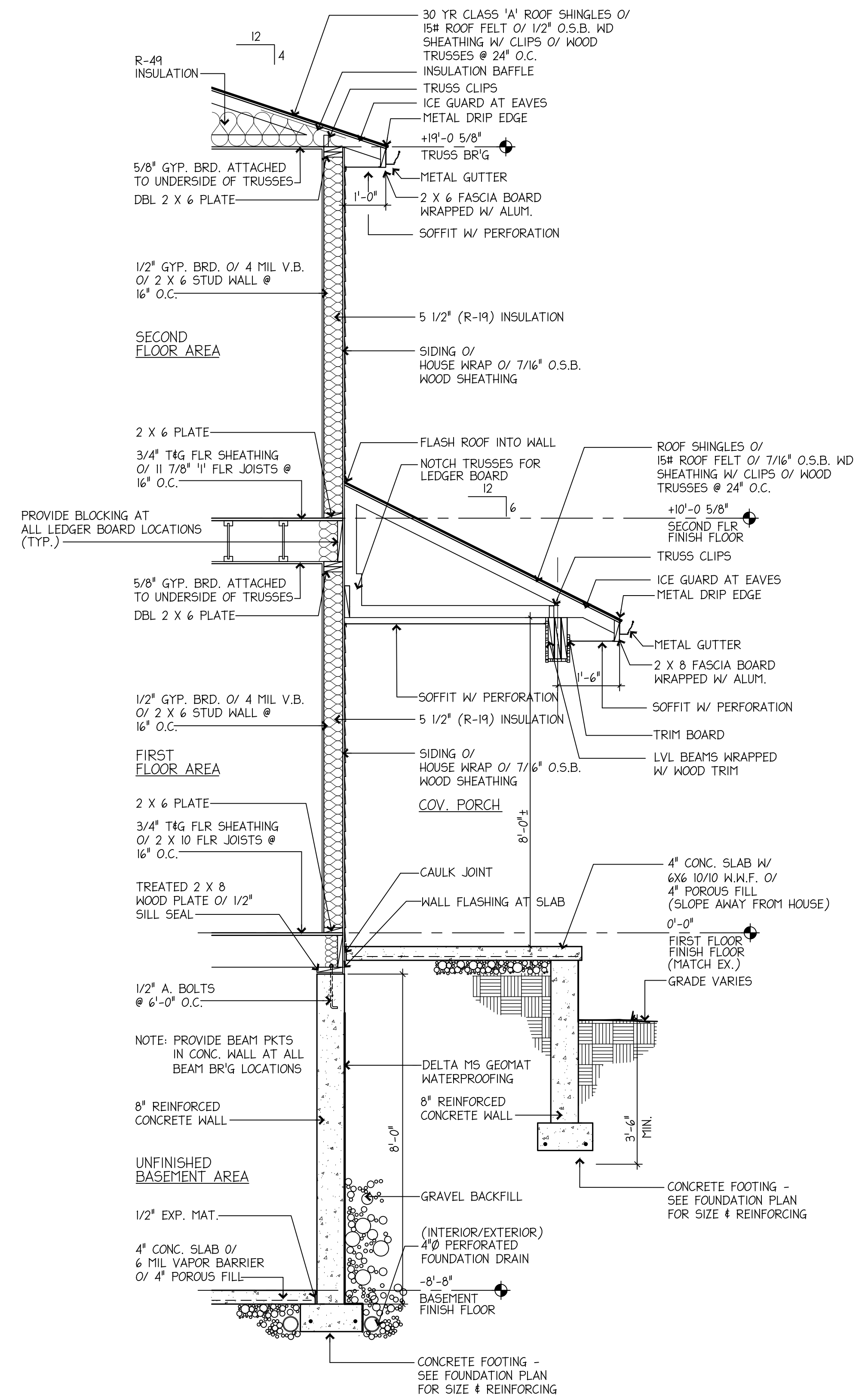
Scale: See Plan



1 WALL SECTION
 SCALE: 1/2"=1'-0"



2 WALL SECTION
 SCALE: 1/2"=1'-0"



3 WALL SECTION
 SCALE: 1/2"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:
MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Wall Sections

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A108
 Scale: See Plan

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Exterior Elevations w/ Section

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A109

Scale: See Plan

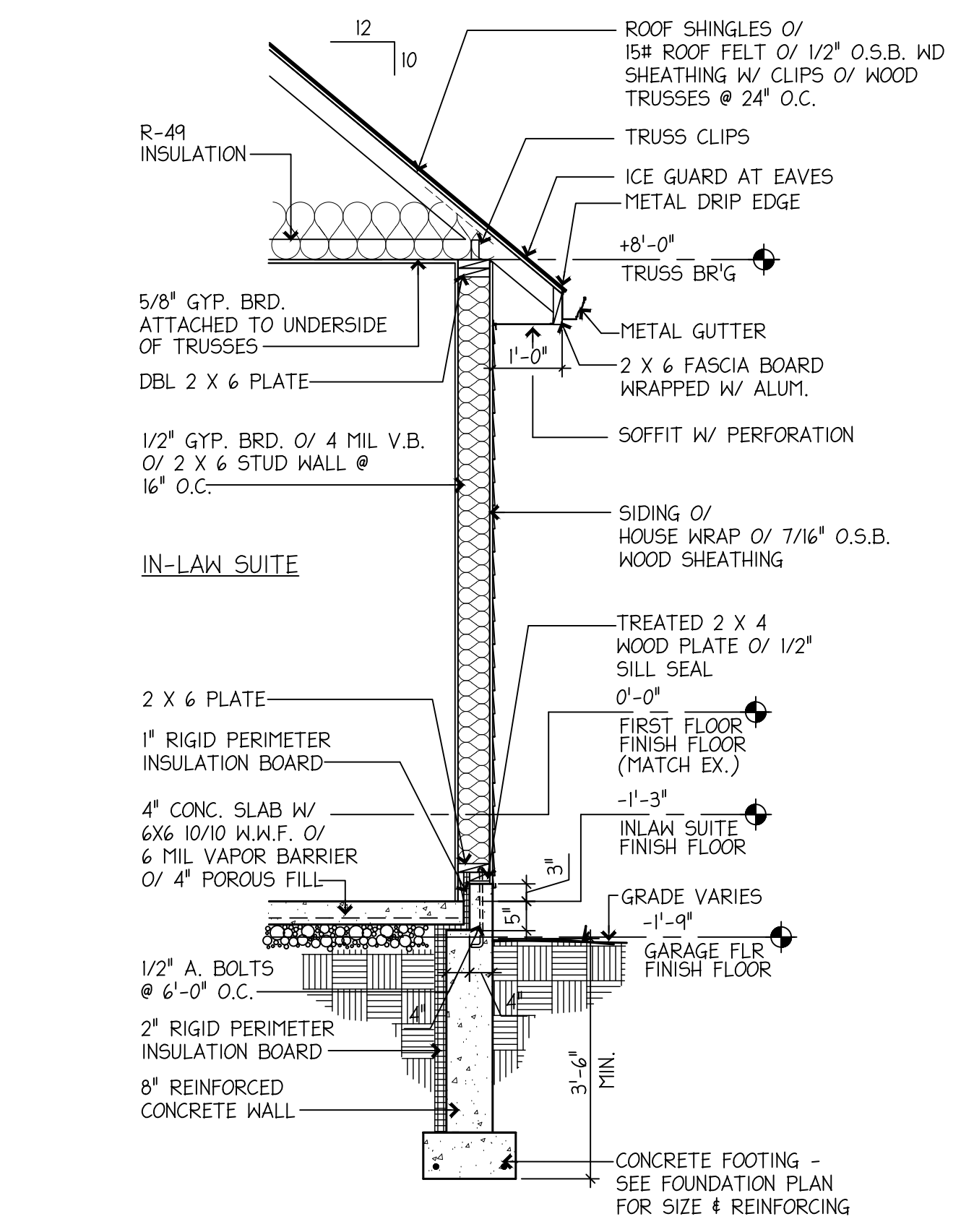


A EXTERIOR 'FRONT' ELEVATION
 SCALE: 1/4"=1'-0"

WINDOWS NOTE:
 WINDOW SIZES SHOWN FOR REFERENCE ONLY - FINAL SELECTION TYPE, MANUF. & SIZE TO BE DETERMINED BY BUILDER AND COMPLY W/ NOTE BELOW (SIZES SHOWN IN INCHES)
WINDOW EGRESS NOTE:
 WINDOW TYPE AND SIZE AS PER OWNER - SIZE WINDOWS IN BEDROOM AREAS FOR EGRESS - (5.7 SQ. FT. CLEAR OPENING - 20" MIN. WIDTH & 24" MIN. HEIGHT W/ 44" MAX. SILL HEIGHT A.F.F.)



B EXTERIOR 'SIDE' ELEVATION
 SCALE: 1/4"=1'-0"



1 WALL SECTION
 SCALE: 1/2"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

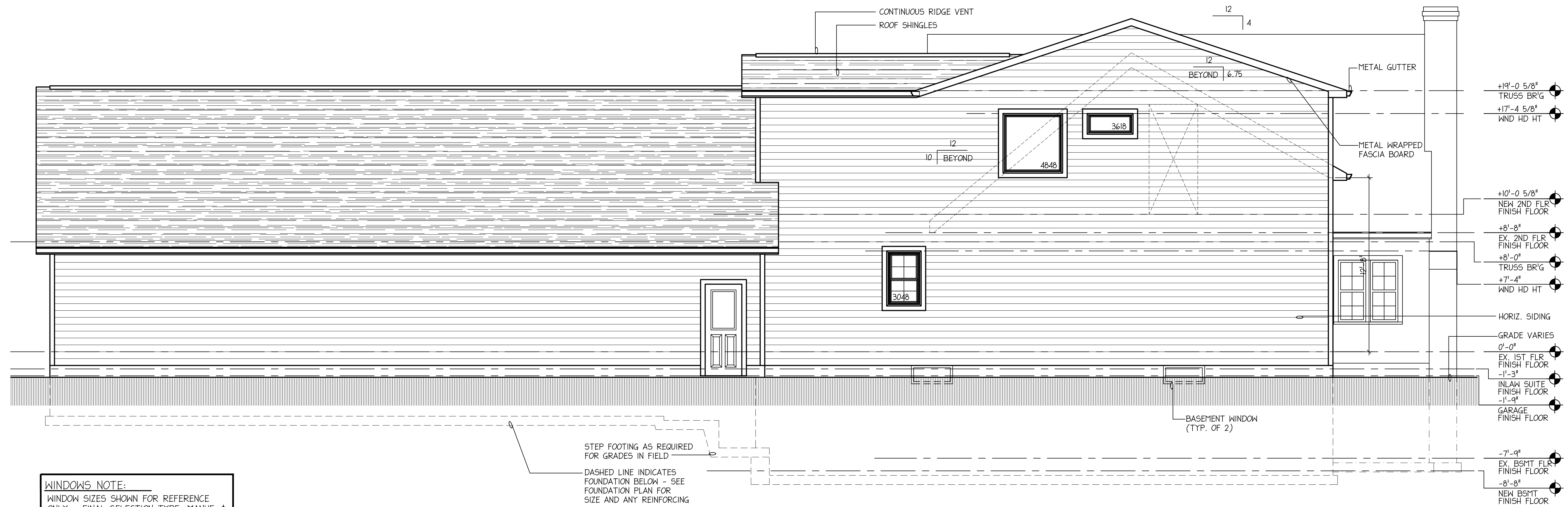
MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Exterior Elevations w/ Section

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A110
 Scale: See Plan



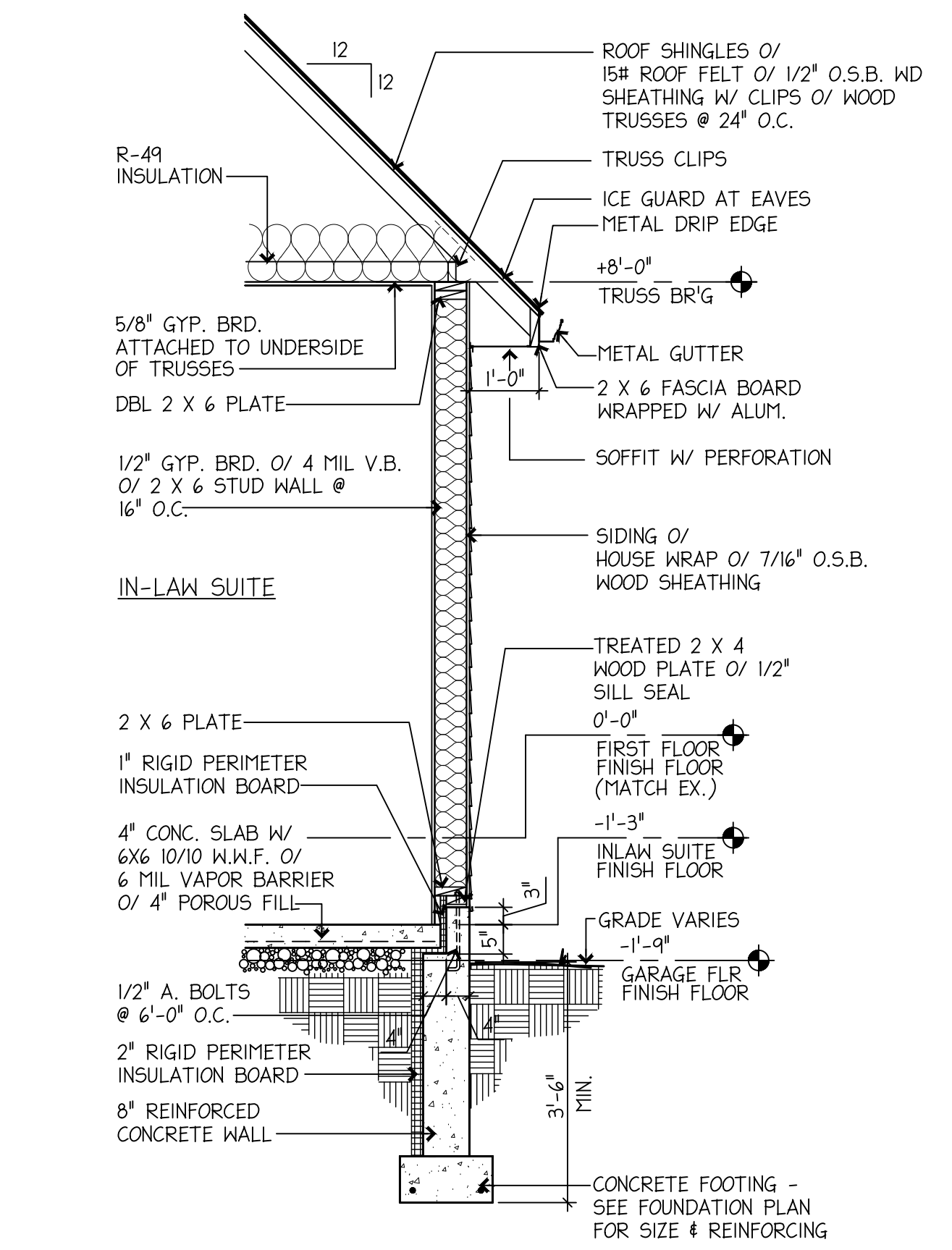
A EXTERIOR 'REAR' ELEVATION
 SCALE: 1/4"=1'-0"

WINDOWS NOTE:
 WINDOW SIZES SHOWN FOR REFERENCE ONLY - FINAL SELECTION TYPE, MANUF. & SIZE TO BE DETERMINED BY BUILDER AND COMPLY W/ NOTE BELOW (SIZES SHOWN IN INCHES)
WINDOW EGRESS NOTE:
 WINDOW TYPE AND SIZE AS PER OWNER - SIZE WINDOWS IN BEDROOM AREAS FOR EGRESS - (5.7 SQ. FT. CLEAR OPENING - 20" MIN. WIDTH & 24" MIN. HEIGHT W/ 44" MAX. SILL HEIGHT A.F.F.)



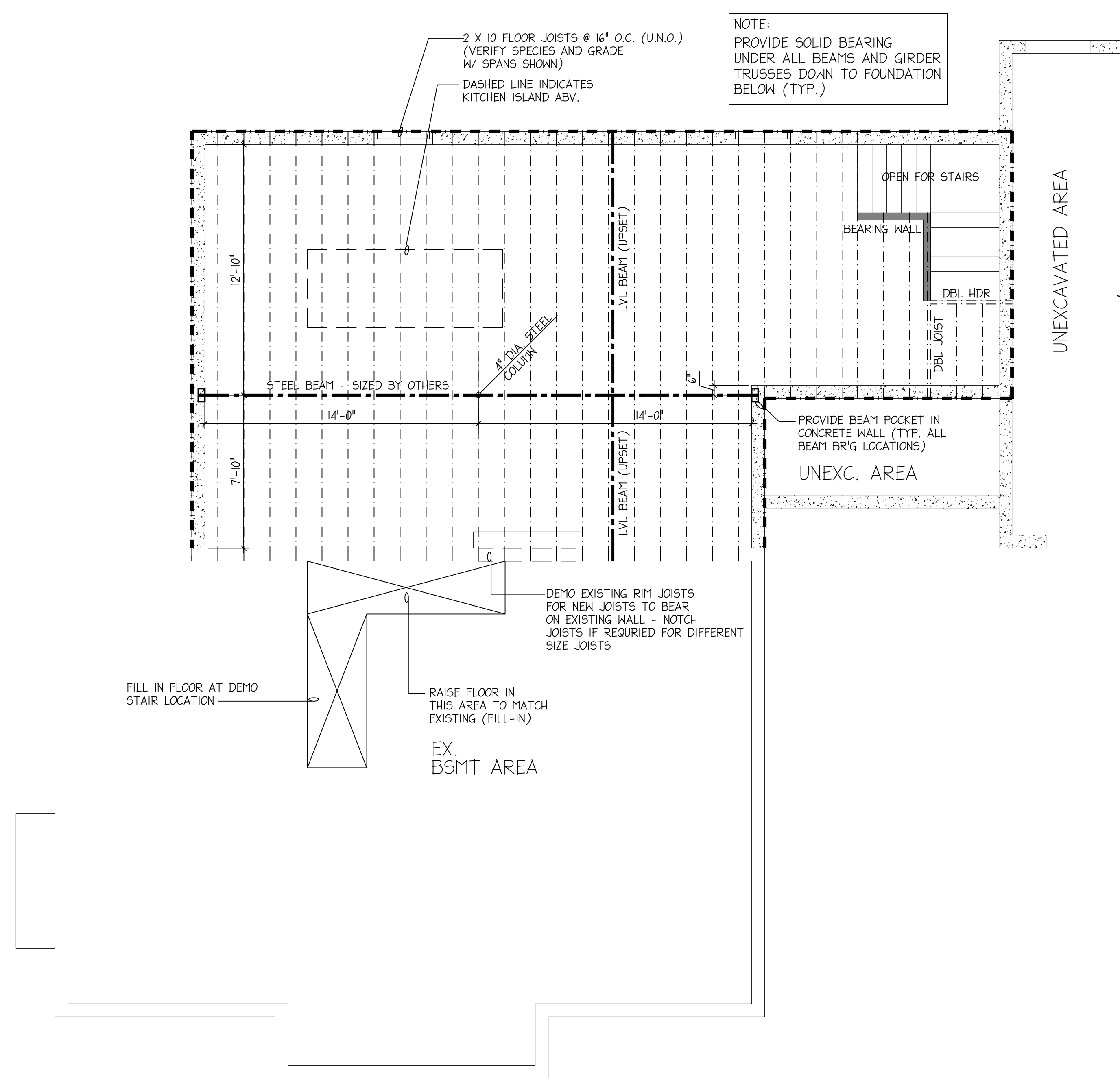
B EXTERIOR 'SIDE' ELEVATION
 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.



1 WALL SECTION
 SCALE: 1/2"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.



NOTE:
 PROVIDE SOLID BEARING
 UNDER ALL BEAMS AND GIRDER
 TRUSSES DOWN TO FOUNDATION
 BELOW (TYP.)

STRUCTURAL NOTES:

WOOD FRAMING NOTES

SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION RELATED TO THE STRUCTURAL WORK AND COORDINATE AS REQUIRED.

DETAIL, FABRICATE, AND ERECT STRUCTURAL WOOD IN STRICT ACCORDANCE WITH THE LATEST AMERICAN INSTITUTE OF TIMBER CONSTRUCTION STANDARDS AND SPECIFICATIONS, AND THESE DRAWINGS.

STRESS-GRADE LUMBER FOR JOISTS, BEAMS, AND COLUMNS SHALL BE DOUGLAS FIR - LARCH NO2 AND SHALL DEVELOP A WORKING STRESS OF 1500 PSI (1450 PSI WHEN USED AS REPETITIVE MEMBERS) IN BENDING WITH A MINIMUM OF 1100000 PSI MODULUS OF ELASTICITY.

STUD WALLS, WOOD BLOCKING, ETC. SHALL BE ENGELMANN SPRUCE "CONSTRUCTION GRADE" AND DEVELOP A WORKING STRESS OF 1000 PSI (800 PSI WHEN USED AS A REPETITIVE MEMBER) IN BENDING WITH A MINIMUM OF 1000000 PSI MODULUS OF ELASTICITY.

CONSTRUCTION LOADS SUCH AS PLYWOOD AND SHINGLES SHALL BE PLACED ADJACENT TO THE SUPPORTS WITHOUT EXCESSIVE CONCENTRATION.

ALL WOOD TRUSSES SHALL BE DESIGNED AND FABRICATED IN STRICT ACCORDANCE WITH THE TRUSS PLATE INSTITUTE (TPI-16) OR LATEST EDITION.

ALL WOOD TRUSSES SHALL BE ERECTED AND BRACED IN STRICT ACCORDANCE WITH BRACING WOOD TRUSSES (BWT-16) OR LATEST EDITION.

THE WOOD TRUSS MANUFACTURER IS TO FURNISH CERTIFIED ENGINEERING TRUSS DRAWINGS WHICH INDICATE MEMBER AND JOIST SIZE, LOADING, LUMBER STRENGTH, AND BRACING REQUIREMENTS FOR THE BUILDERS' BUILDING DEPT. APPROVAL.

THE TRUSS SUPPLIER SHALL PROVIDE ALL REQUIRED CONNECTORS, BRACING, AND ANCHORS AS APPROVED BY THE TRUSS ENGINEER OR OTHERWISE REQUIRED.

CONTRACTOR SHALL INSTALL ALL CONNECTORS, BRACING, AND ANCHORS PROVIDED BY THE TRUSS SUPPLIER.

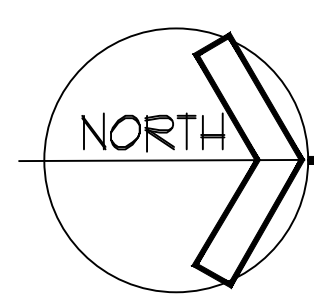
CONTRACTOR SHALL ANCHOR ROOF MEMBERS TO WOOD PLATE, LEDGERS, ETC. WITH METAL ANCHOR CLIPS AS INDICATED ON THE DRAWINGS.

CONTRACTOR SHALL PROVIDE DIAGONAL WINDBRACING AT ALL EXTERIOR WALLS AS REQUIRED BY ALL GOVERNING CODES.

CONTRACTOR SHALL PROVIDE AND INSTALL GALVANIZED METAL JOIST HANGERS FOR ALL JOISTS, BEAMS, AND HEADERS THAT BUTT TO ADJACENT STRUCTURAL COMPONENTS. THOSE BEARING A MINIMUM OF 1 1/2" ON WALLS OR BEAMS DO NOT REQUIRE HANGERS.

LOADING SCHEDULE

SLOPED ROOF LOADING	FLOOR LOADING
25 PSF LIVE LOAD	40 PSF LIVE LOAD
20 PSF DEAD LOAD	10 PSF DEAD LOAD
45 PSF TOTAL	50 PSF TOTAL



FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

NOTE:
 ALL STRUCTURAL MEMBERS SHOWN IN THESE
 PLANS ARE FOR BIDDING PURPOSES ONLY. FINAL
 SIZES ARE TO BE DETERMINED BY OTHERS AND MEMBER SIZES TO BE
 SUBMITTED TO BUILDING DEPARTMENT ALONG WITH PLANS.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

First Floor
 Framing Plan

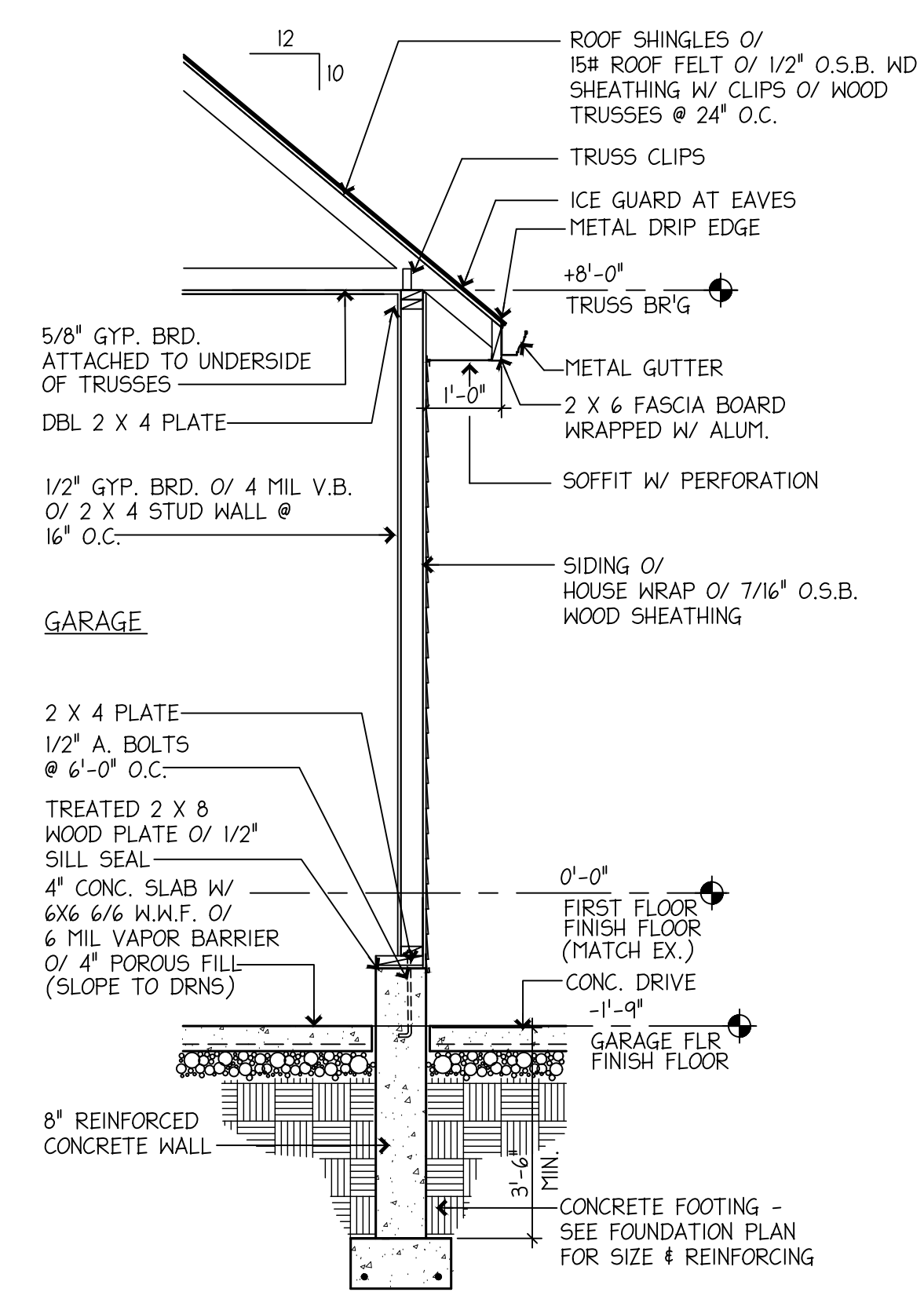
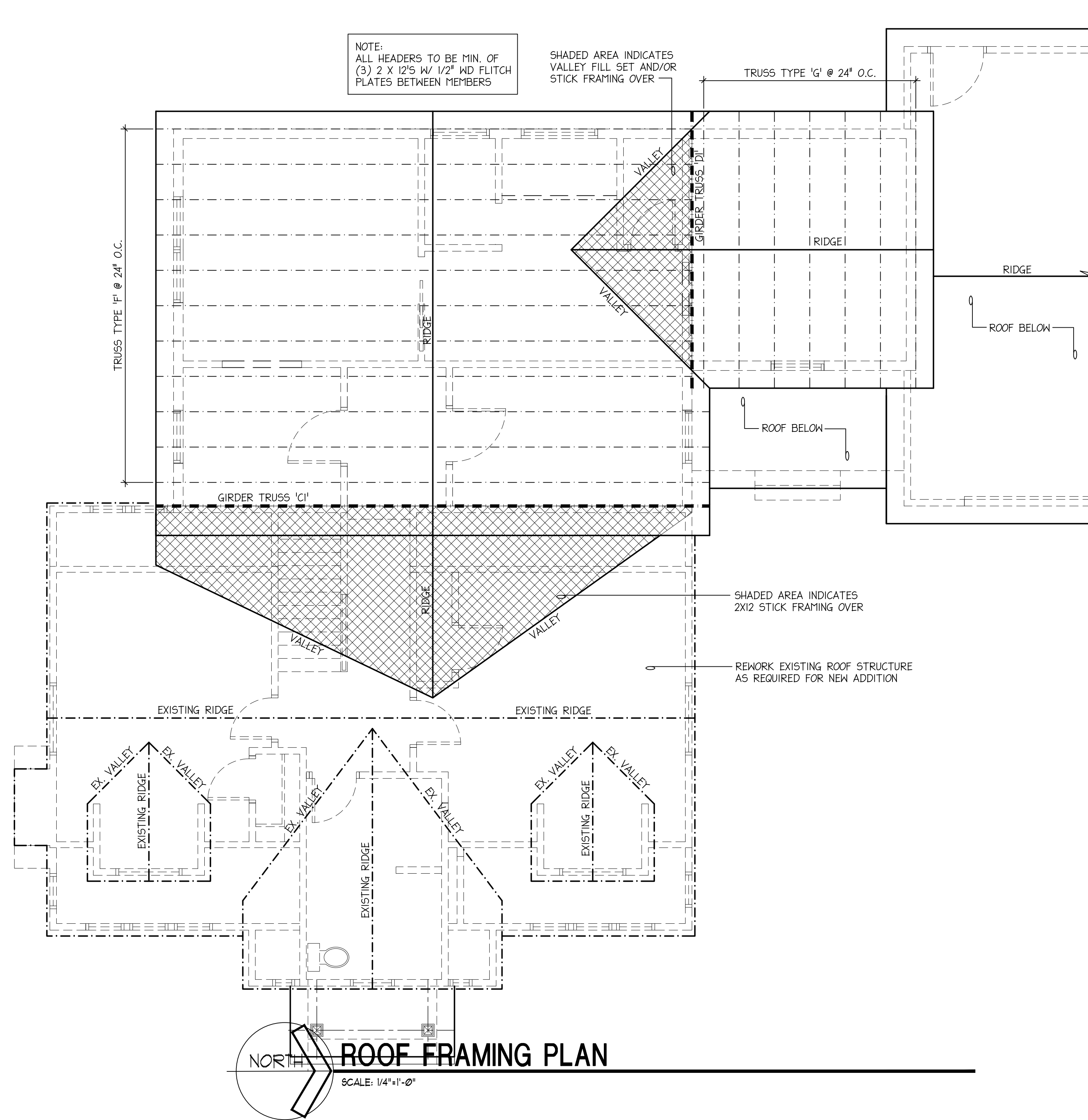
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 Date: 09-27-2025

Revisions:

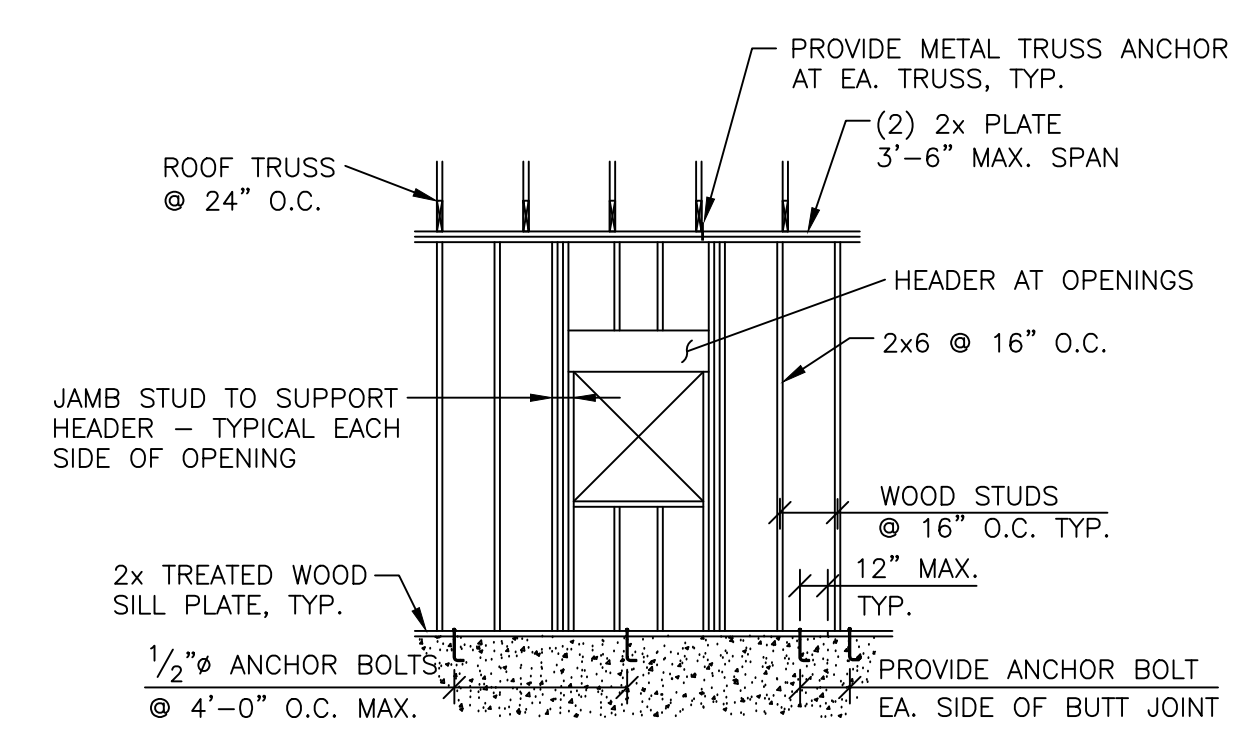
Drawn by: B. Bigelow
 Checked by: BSB

A111

Scale: See Plan



1 WALL SECTION
 A113 SCALE: 1/2"=1'-0"



TYPICAL WALL ELEVATION

- NOTES:**
- AT WALL LOCATIONS WHERE MULTIPLE STUDS ARE REQUIRED TO SUPPORT VERTICAL LOADS, A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO SUPPORT THOSE LOADS THROUGH THE STRUCTURE TO THE FOUNDATIONS. THIS MAY BE ACCOMPLISHED THROUGH THE USE OF RIM JOISTS, SQUASH BLOCKS OR OTHER APPROPRIATE MEANS BASE ON LOCATION AND DETAILING CONSIDERATIONS.
 - PROVIDE A MINIMUM ONE STUD FOR EACH STUD OCCURRING ON THE FLOOR ABOVE UNLESS ADDITIONAL STUDS ARE ALSO REQUIRED.

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

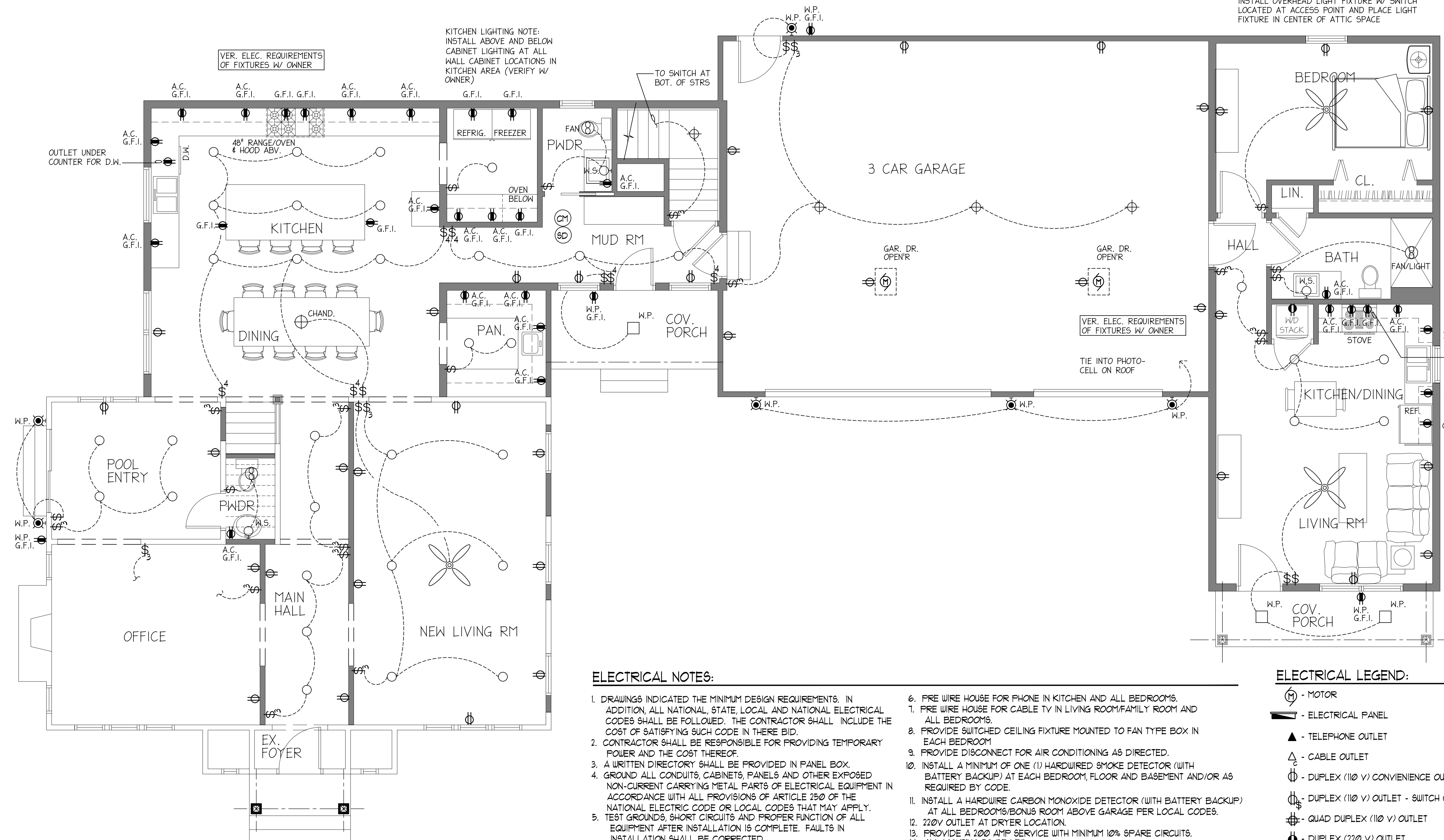
MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Roof Framing Plan w/ Section

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A113
 Scale: See Plan



ELECTRICAL NOTES:
 ATTIC SPACE LIGHTING:
 INSTALL OVERHEAD LIGHT FIXTURE W/ SWITCH
 LOCATED AT ACCESS POINT AND PLACE LIGHT
 FIXTURE IN CENTER OF ATTIC SPACE

ELECTRICAL NOTES:

- DRAWINGS INDICATED THE MINIMUM DESIGN REQUIREMENTS. IN ADDITION, ALL NATIONAL, STATE, LOCAL AND NATIONAL ELECTRICAL CODES SHALL BE FOLLOWED. THE CONTRACTOR SHALL INCLUDE THE COST OF SATISFYING SUCH CODE IN THEIR BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER AND THE COST THEREOF.
- A WRITTEN DIRECTORY SHALL BE PROVIDED IN PANEL BOX.
- GROUND ALL CONDUITS, CABINETS, PANELS AND OTHER EXPOSED NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ALL PROVISIONS OF ARTICLE 250 OF THE NATIONAL ELECTRIC CODE OR LOCAL CODES THAT MAY APPLY.
- TEST GROUNDS, SHORT CIRCUITS AND PROPER FUNCTION OF ALL EQUIPMENT AFTER INSTALLATION IS COMPLETE. FAULTS IN INSTALLATION SHALL BE CORRECTED.
6. FIRE WIRE HOUSE FOR PHONE IN KITCHEN AND ALL BEDROOMS.
1. FIRE WIRE HOUSE FOR CABLE TV IN LIVING ROOM/FAMILY ROOM AND ALL BEDROOMS.
8. PROVIDE SWITCHED CEILING FIXTURE MOUNTED TO FAN TYPE BOX IN EACH BEDROOM
9. PROVIDE DISCONNECT FOR AIR CONDITIONING AS DIRECTED.
10. INSTALL A MINIMUM OF ONE (1) HARDWIRED SMOKE DETECTOR (WITH BATTERY BACKUP) AT EACH BEDROOM, FLOOR AND BASEMENT AND/OR AS REQUIRED BY CODE.
11. INSTALL A HARDWIRED CARBON MONOXIDE DETECTOR (WITH BATTERY BACKUP) AT ALL BEDROOMS/BONUS ROOM ABOVE GARAGE PER LOCAL CODES.
12. 220V OUTLET AT DRYER LOCATION.
13. PROVIDE A 200 AMP SERVICE WITH MINIMUM 10% SPARE CIRCUITS.
14. ALL LIGHTING TO BE LED.

ELECTRICAL LEGEND:

- Ⓜ - MOTOR
- Ⓢ - ELECTRICAL PANEL
- ▲ - TELEPHONE OUTLET
- △ - CABLE OUTLET
- Ⓛ - DUPLEX (110 V) CONVENIENCE OUTLET - 16" AFF.
- Ⓛ - DUPLEX (110 V) OUTLET - SWITCH CONTROLLED
- Ⓛ - QUAD DUPLEX (110 V) OUTLET
- Ⓛ - DUPLEX (220 V) OUTLET
- Ⓛ - GROUND FAULT (110 V) CIRCUIT INTERRUPTOR
- Ⓛ - GROUND FAULT (110 V) CIRCUIT INTERRUPTOR - WEATHERPROOF
- Ⓢ - SINGLE POLE SWITCH
- Ⓢ - THREE WAY SWITCH
- Ⓢ - FOUR WAY SWITCH
- Ⓢ - DIMMER SWITCH
- Ⓢ - THERMOSTAT
- Ⓢ - CARBON MONOXIDE DETECTOR - HARD WIRED
- Ⓢ - SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP (DUAL SENSOR PHOTOELECTRIC & IONIZATION TYPE)
- Ⓢ - EXHAUST FAN
- - RECESSED LIGHT FIXTURE
- Ⓢ - OVERHEAD LIGHT FIXTURE
- Ⓢ - OVERHEAD LIGHT FIXTURE W/ PULL CHAIN
- Ⓢ - EXTERIOR WALL MTD LIGHT FIXTURE
- - RECESSED LIGHT FIXTURE - WEATHERPROOF
- - PENDANT LIGHT FIXTURE
- Ⓢ - CEILING FAN W/ LIGHT FIXTURE
- Ⓢ - CEILING FAN
- INDICATES ELECTRICAL WIRE
 WIRE SIZE: OUTLETS (12 GA)
 LIGHT FIXTURES (14 GA)

ELECTRICAL FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 NORTH

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

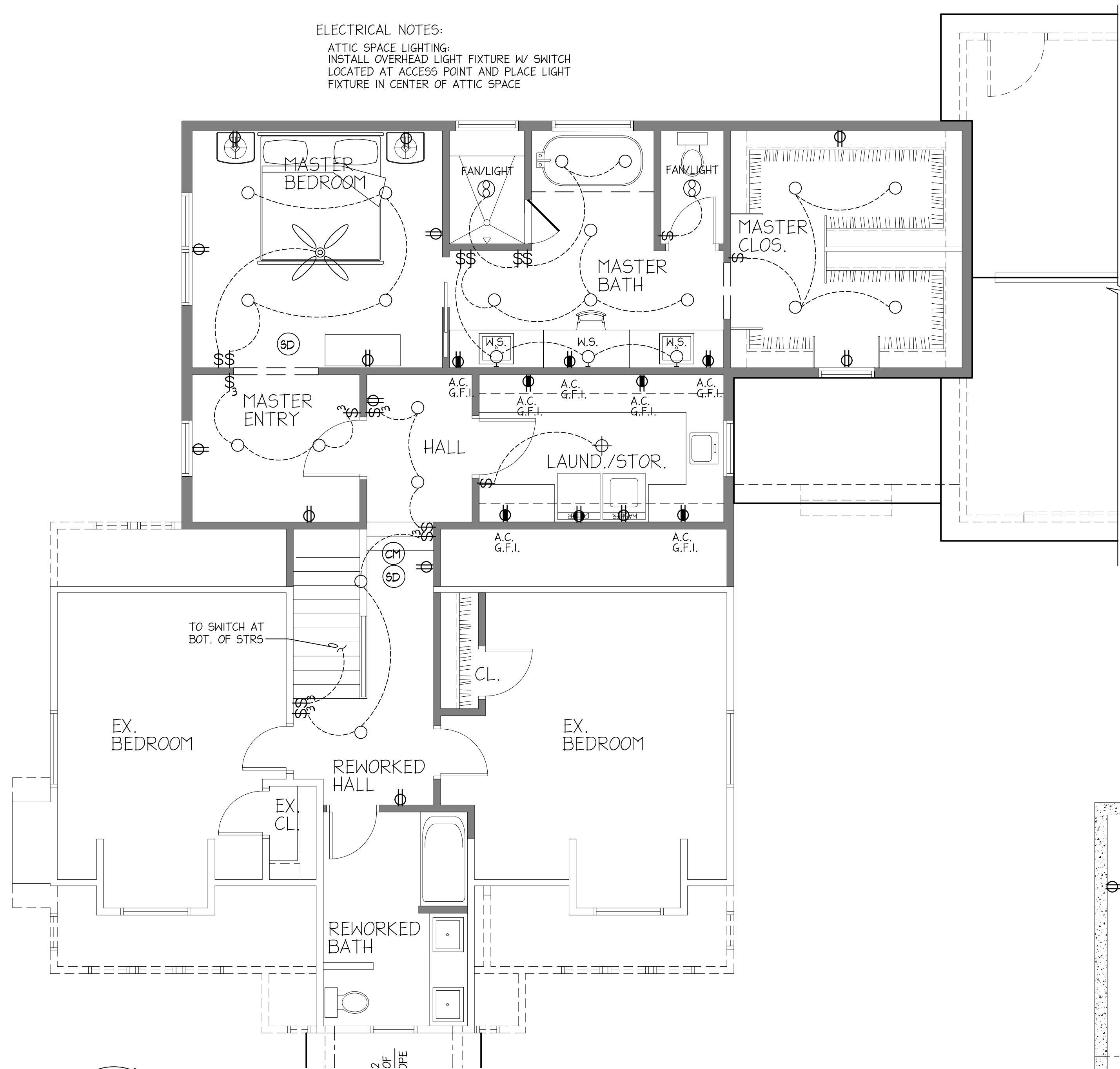
Electrical
 First Floor
 Plan

Project number:
 Date: 09-27-2025
 Revisions:

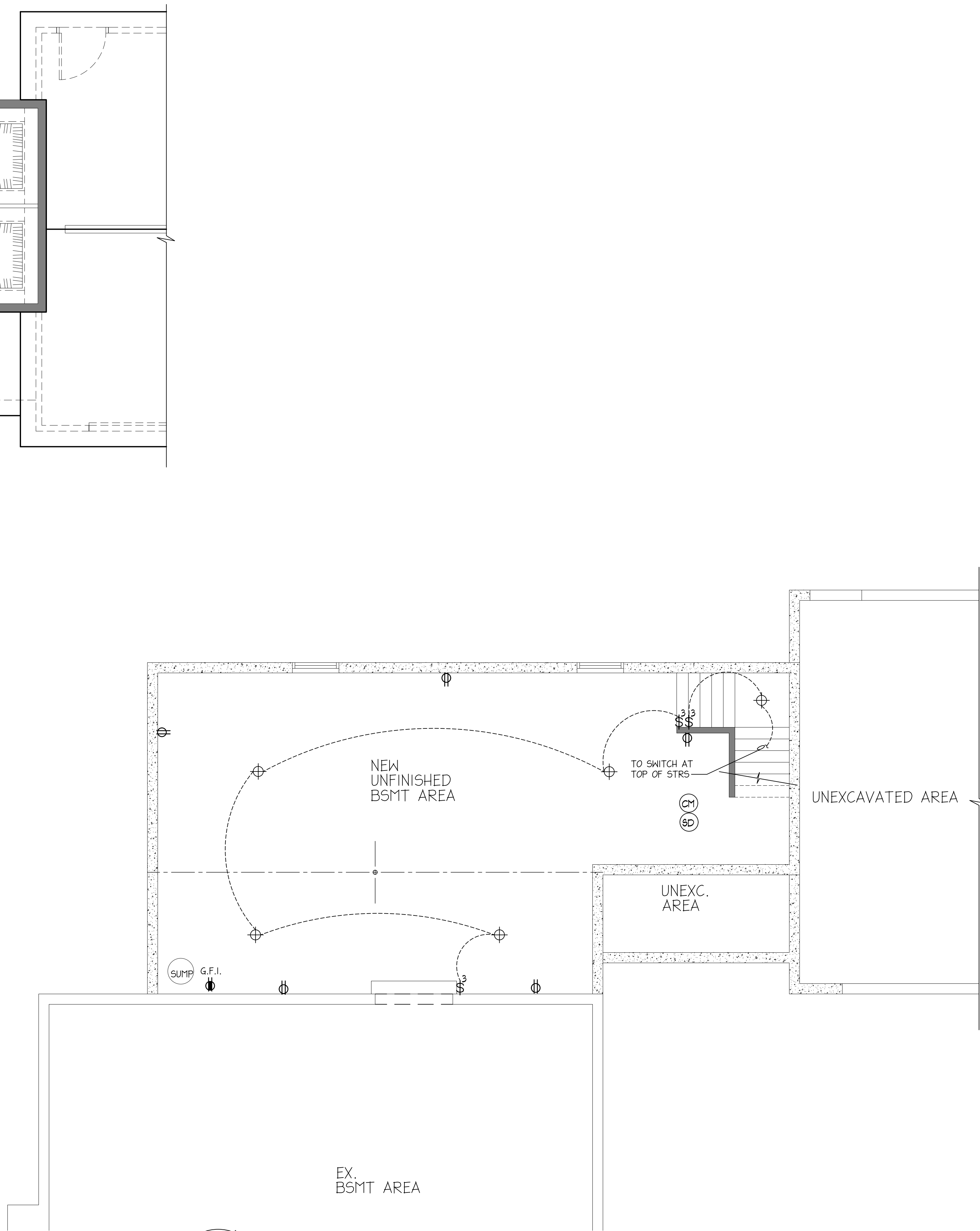
Drawn by: B. Bigelow
 Checked by: BSB

A114
 Scale: See Plan

ELECTRICAL NOTES:
 ATTIC SPACE LIGHTING:
 INSTALL OVERHEAD LIGHT FIXTURE W/ SWITCH
 LOCATED AT ACCESS POINT AND PLACE LIGHT
 FIXTURE IN CENTER OF ATTIC SPACE



ELECTRICAL SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



ELECTRICAL BASEMENT FLOOR PLAN
 SCALE: 1/4"=1'-0"

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Electrical
 Bsmt &
 Second Floor
 Plans

Project number:

Date: 09-27-2025

Revisions:

Drawn by: B. Bigelow

Checked by: BSB

A115

Scale: See Plan

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER

RESIDENCE

52 CLOUSE AVENUE
AKRON, OHIO 44333



Draftec, Inc.
Commercial / Residential
CAD Drafting Services
455 Palm Ave./Akron, Ohio 44301
Phone: 330.773.8835
Email: draftec@gmail.com

BUILDER:

DRAWING INDEX:

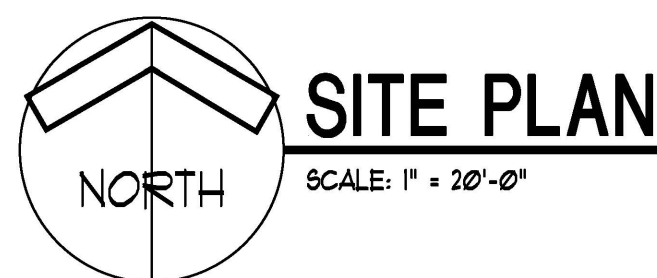
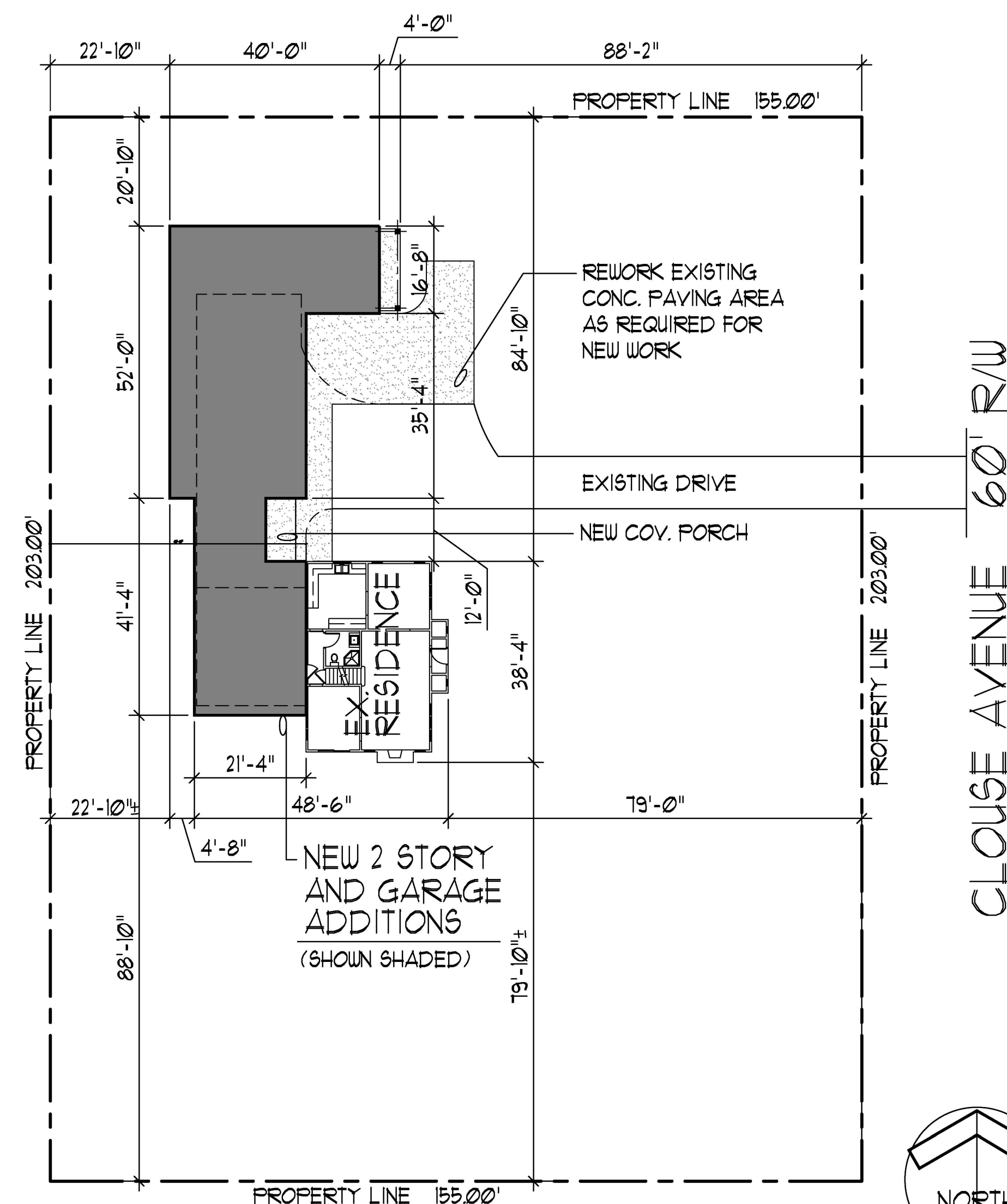
- A001 COVER SHEET/SITE PLAN
- A101 EXISTING FLOOR PLANS W/ DEMO
- A102 EXISTING FLOOR AND ROOF PLANS W/ DEMO
- A103 EXISTING EXTERIOR ELEVATIONS W/ DEMO
- A104 FOUNDATION/BASEMENT FLOOR PLAN
- A105 FIRST FLOOR PLAN
- A106 SECOND FLOOR PLAN
- A107 ROOF PLAN
- A108 WALL SECTIONS
- A109 EXTERIOR ELEVATIONS W/ SECTION
- A110 EXTERIOR ELEVATIONS W/ SECTION
- A111 FIRST FLOOR FRAMING PLAN
- A112 SEC. FLR/LOW ROOF FRAMING PLANS
- A113 ROOF FRAMING PLAN W/ SECTION
- A114 ELECTRICAL FIRST FLOOR PLAN
- A115 ELECTRICAL BSMT & SECOND FLOOR PLANS

ENERGY CODE:

ENERGY CODE COMPLIANCE:
PER OHBA ALTERNATIVE ENERGY CODE OPTION
(COMPLIANCE PATH #1)-Table 1112.2
PENETRATION U FACTOR = .32
CEILINGS R-VALUE = R-49
WOOD FRAMED WALLS R-VALUE = R-15 (R-19 USED)
CRAWLSPACE WALL R-VALUE = R-10

AREAS:

NEW FIRST FLOOR LIVING AREA	800 S.F.
NEW SEC. FLOOR LIVING AREA	822 S.F.
NEW INLAW SUITE LIVING AREA	659 S.F.
TOTAL NEW LIVING AREA:	2,281 S.F.
NEW 3 CAR GARAGE	910 S.F.
NEW SIDE COV. PORCH	68 S.F.
NEW INLAW COV. PORCH	63 S.F.



DATE: SEPTEMBER 27, 2025
BID / SUBMITTAL SET

REVISIONS:

NOTE:
CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

GENERAL NOTES:

- 1.) THESE DRAWINGS ARE FOR REFERENCE ONLY.
 - 2.) ALL WORK SHALL BE AS PER ALL APPLICABLE CODES & ORDINANCES.
 - 3.) ALL SYSTEMS SHALL BE BY OTHERS.
 - 4.) CONTRACTOR/BUILDER SHALL COORDINATE ALL WORK AND BE RESPONSIBLE FOR ALL DISCREPANCIES WHICH MAY OCCUR.
 - 5.) CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & COORDINATE AS REQUIRED.
- PLEASE NOTE THE FOLLOWING:**
THE DRAFTSMAN WHO PREPARED THIS PRINT IS NOT AN ARCHITECT. HE WARRANTS ONLY THAT THESE PLANS ARE OF WORKMANLIKE QUALITY. THESE DRAWINGS REPRESENT THE SPECIFICATIONS AND SIZES PROVIDED BY THE CUSTOMER. ALL DIMENSIONS AND BUILDING CODE CONFORMITY IS TO BE VERIFIED BY THE GENERAL CONTRACTOR, WHOM SHALL BE RESPONSIBLE FOR THE SAME. THE DRAFTSMAN WHO PREPARED THESE DRAWINGS IS NOT RESPONSIBLE FOR THE QUALITY OF WORKMANSHIP OR OTHER DETAILS REGARDING THE CONSTRUCTION, DESIGN, OR ARCHITECTURE OF THIS BUILDING.

Cover Sheet /
Site Plan

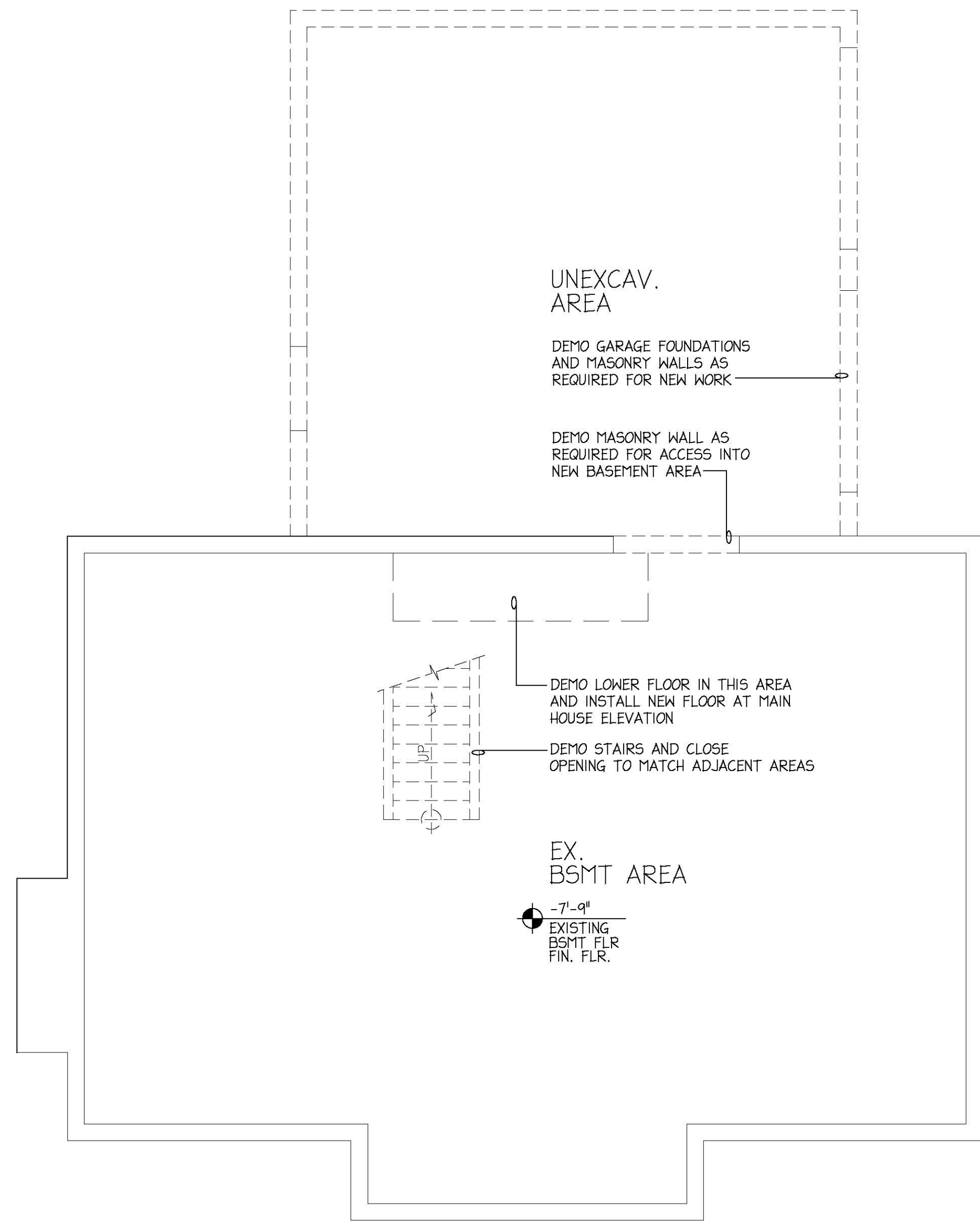
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Revisions:

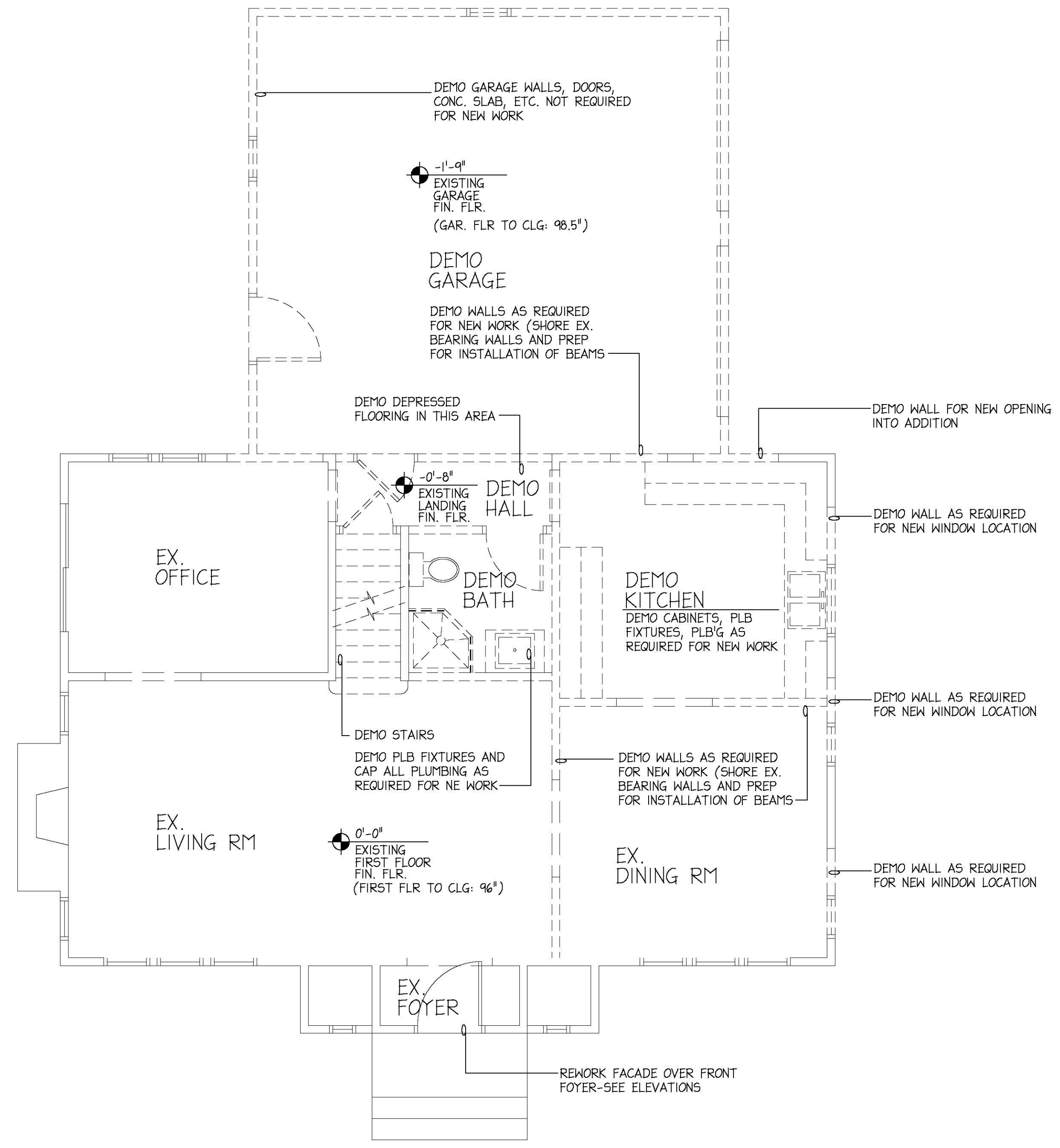
Drawn by: B. Bigelow
Checked by: BSB

A001

Scale: See Plan



EXISTING BASEMENT FLOOR PLAN W/ DEMO
 SCALE: 1/4"=1'-0"



EXISTING FIRST FLOOR PLAN W/ DEMO
 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:
MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Ex. Bsmt and First Floor Plans w/ Demo

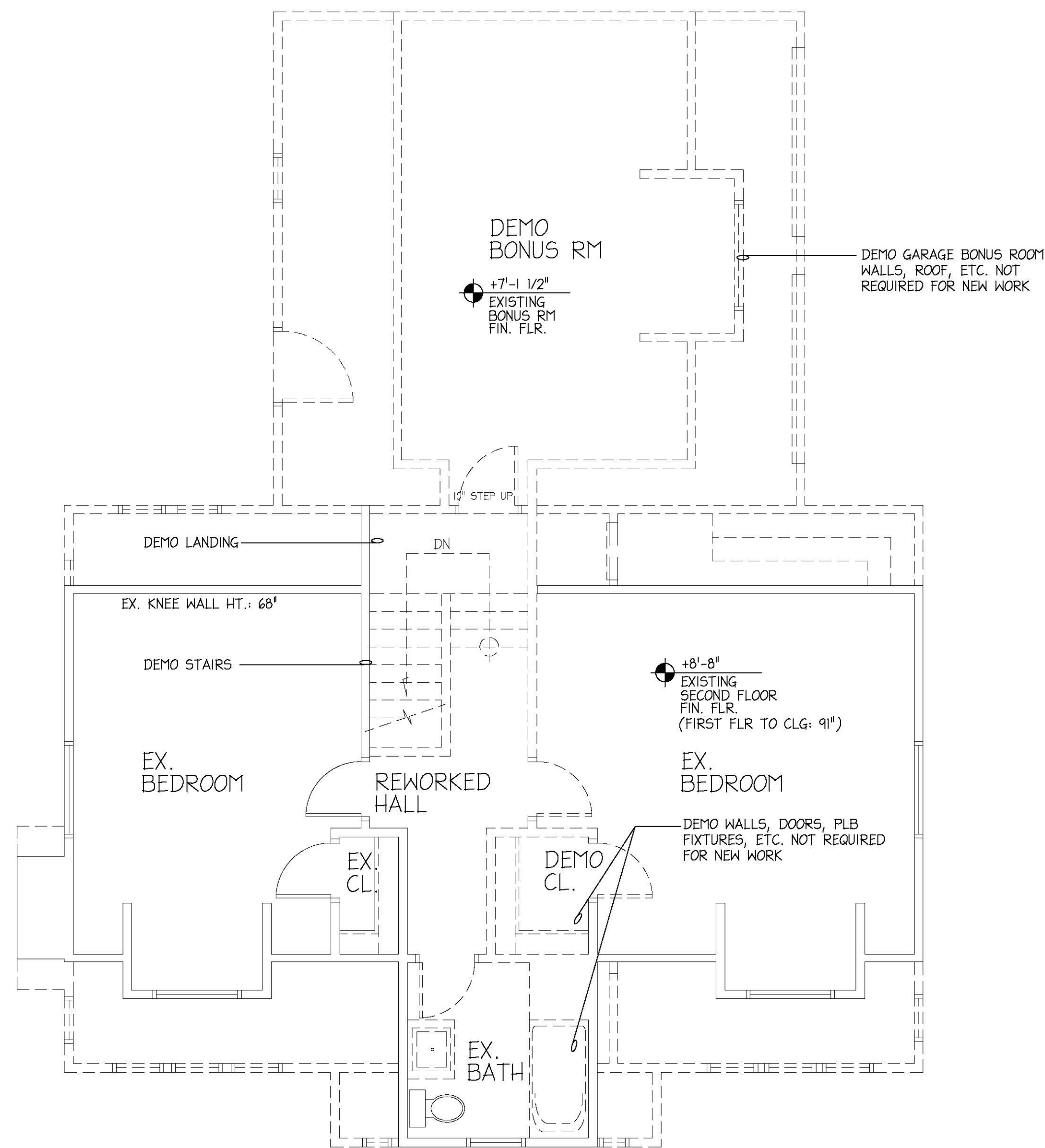
Project number:
 Date: 09-27-2025

Revisions:

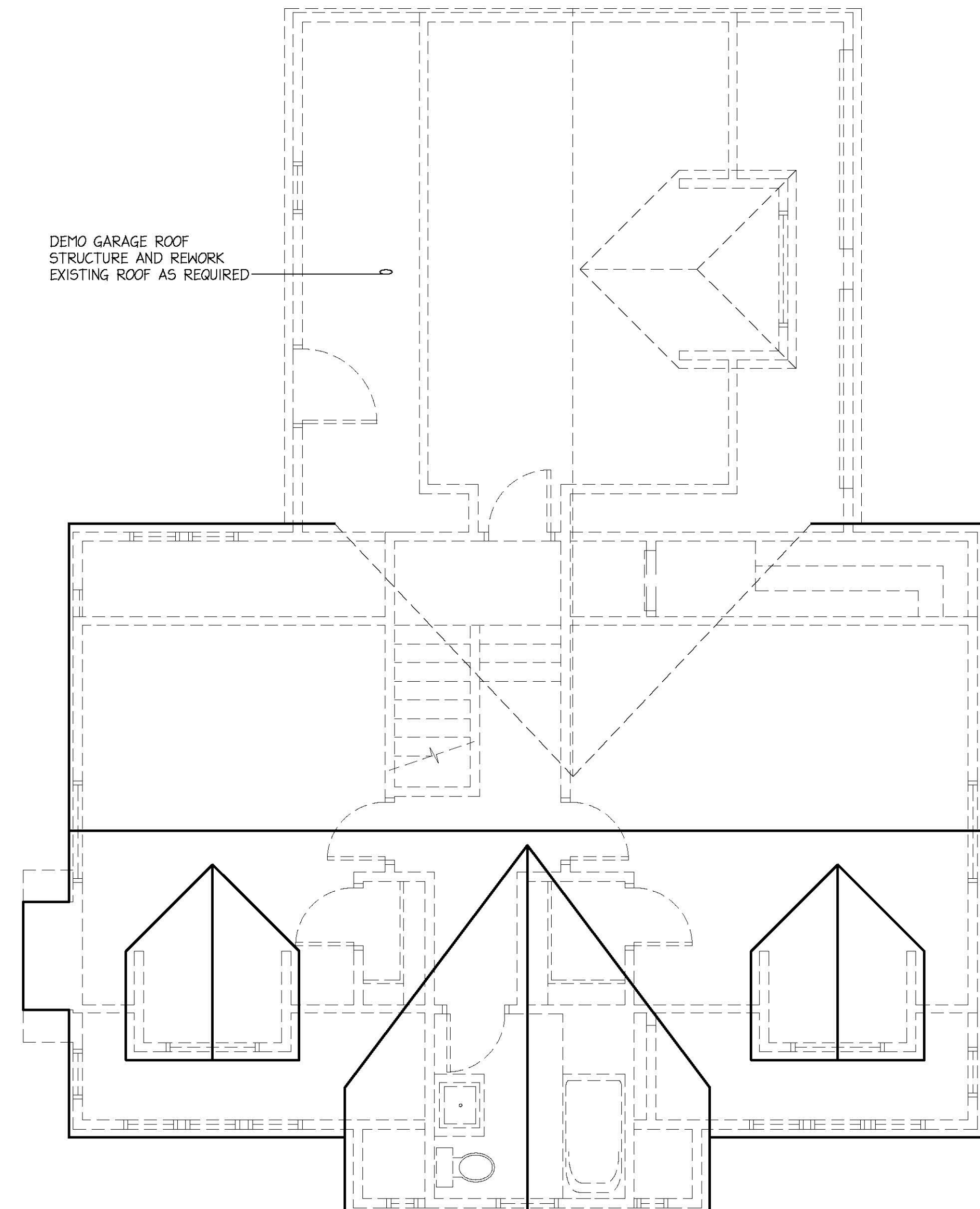
Drawn by: B. Bigelow
 Checked by: BSB

A101

Scale: See Plan



EXISTING SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



EXISTING ROOF PLAN
 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Ex. Second
 and Roof
 Plans w/
 Demo

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A102

Scale: See Plan

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Existing Exterior Elevations w/ Demo

Project number:

Date: 09-27-2025

Revisions:

Drawn by: B. Bigelow

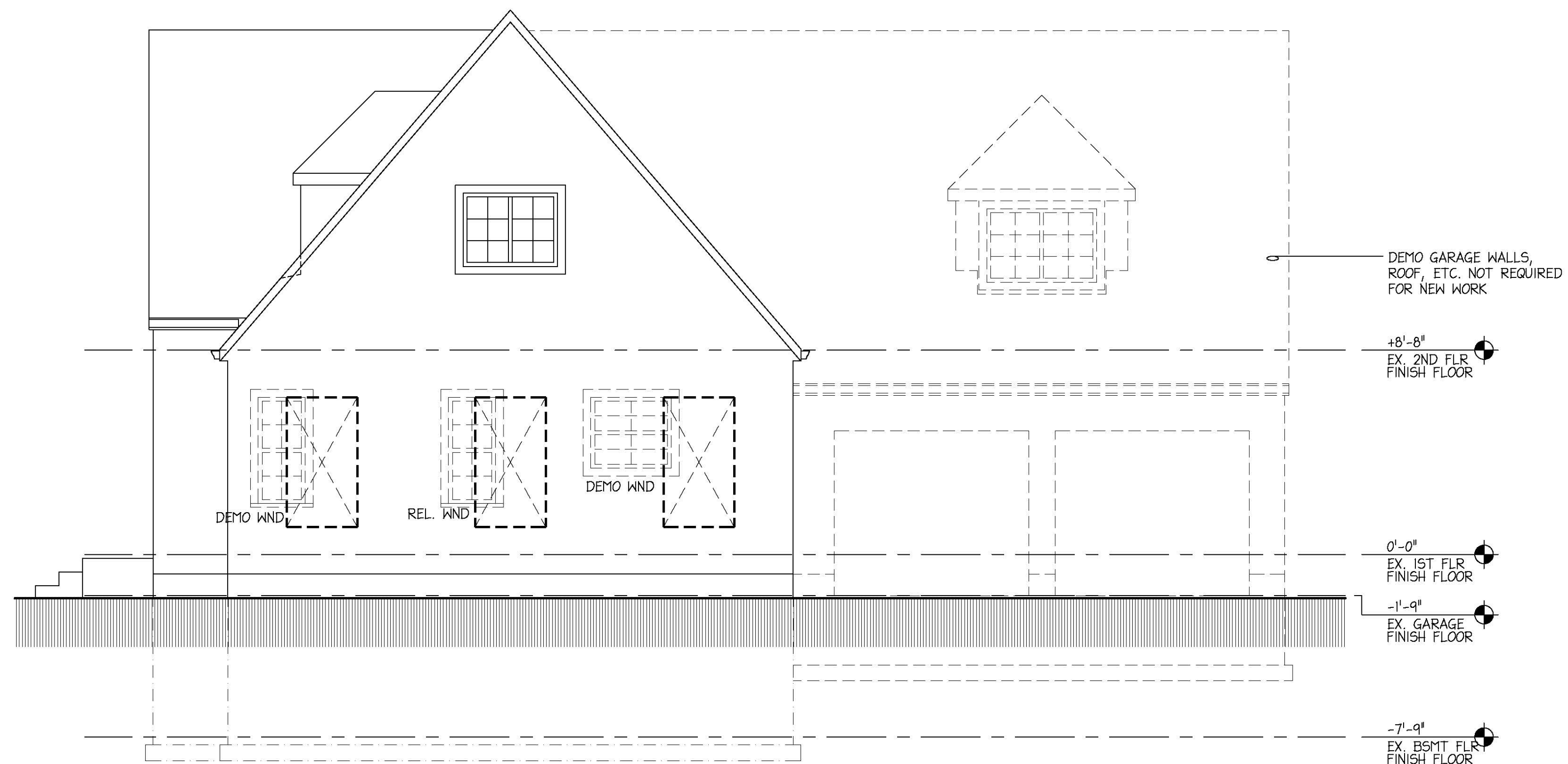
Checked by: BSB

A103

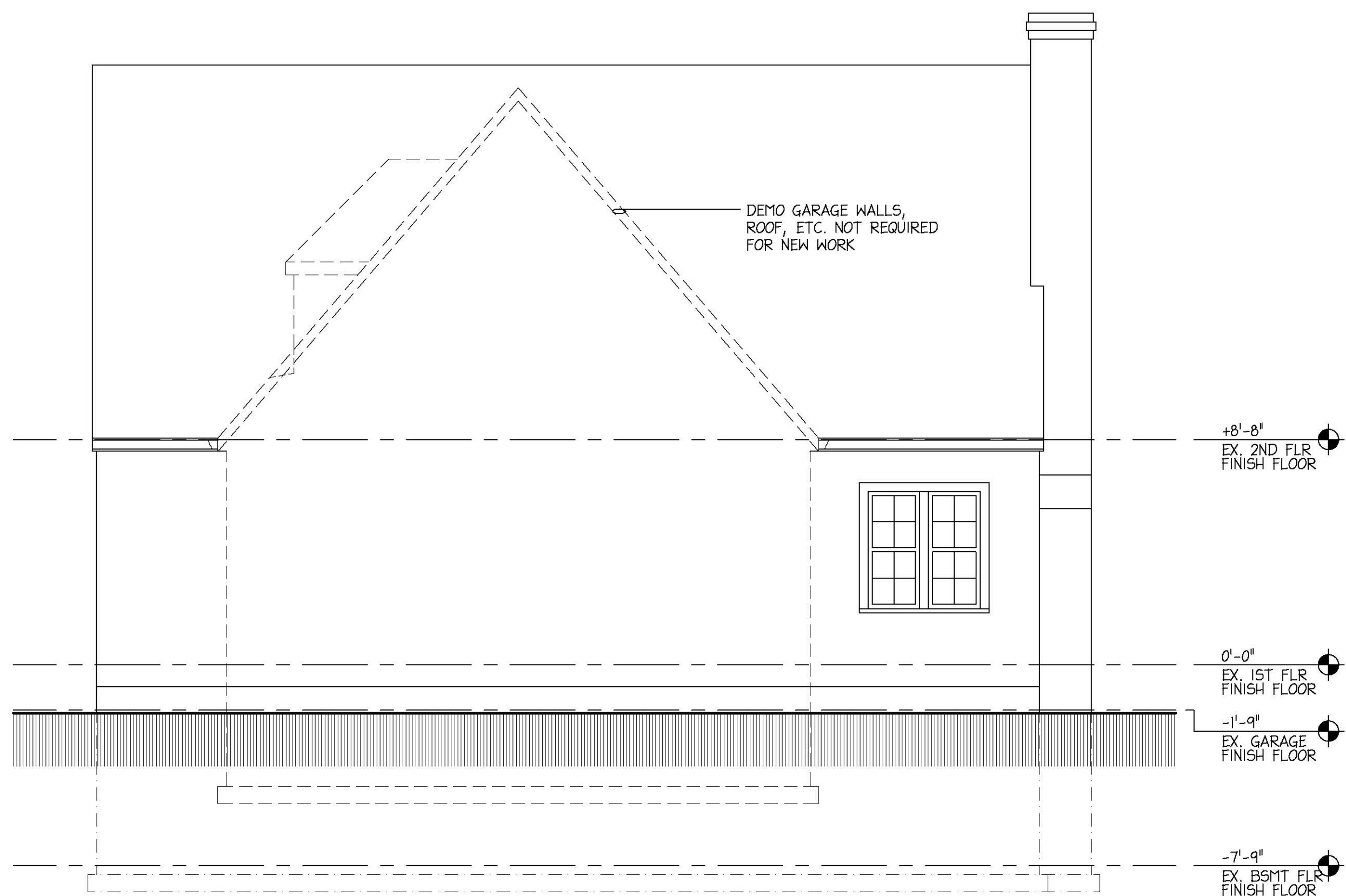
Scale: See Plan



A EXISTING EXTERIOR 'FRONT' ELEVATION
 A103 SCALE: 1/4"=1'-0"



B EXISTING EXTERIOR SIDE' ELEVATION
 A103 SCALE: 1/4"=1'-0"

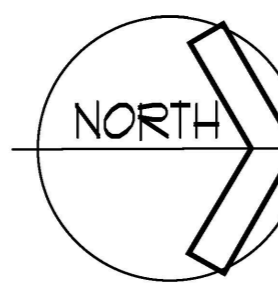
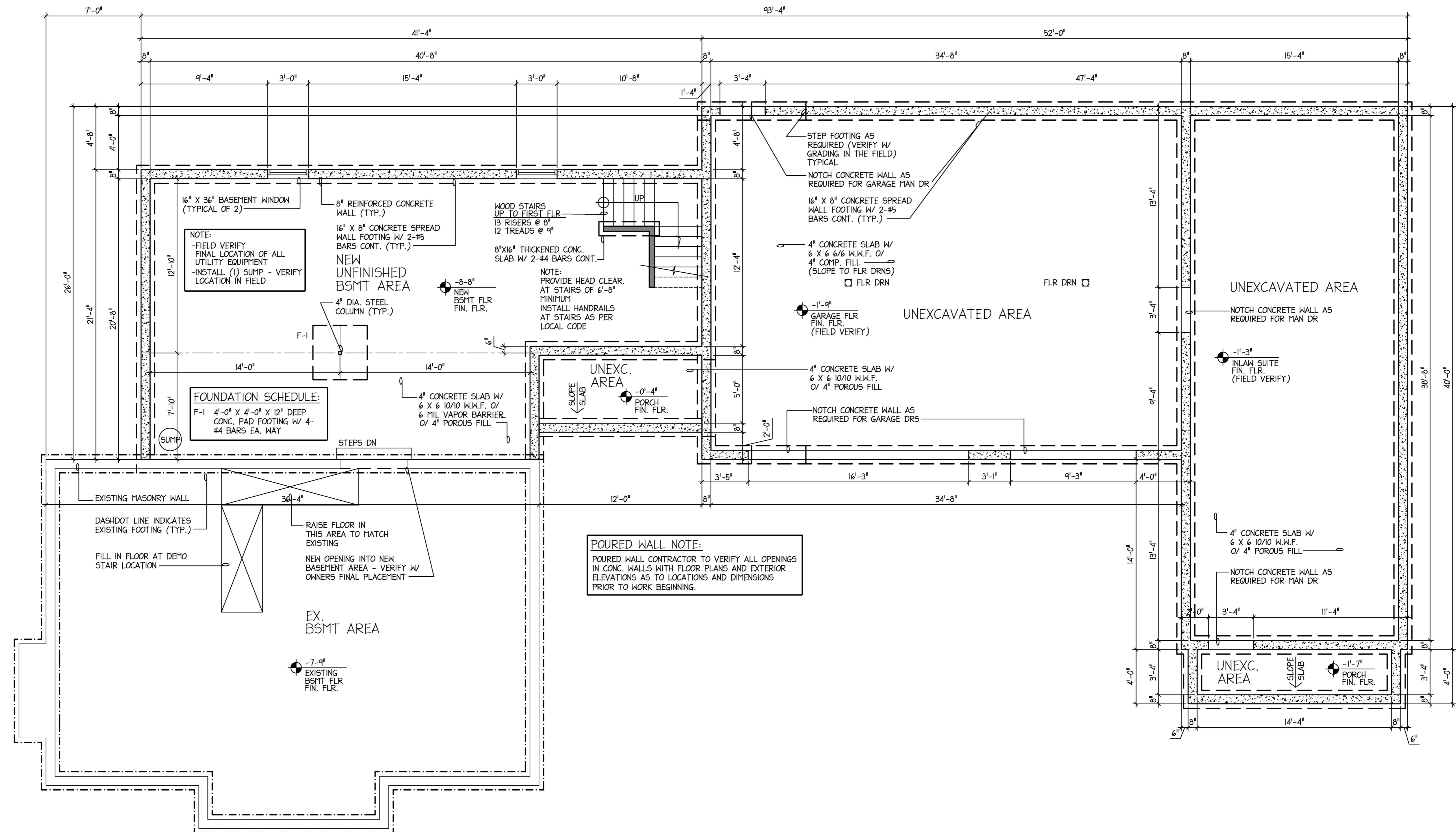


C EXISTING EXTERIOR 'REAR' ELEVATION
 A103 SCALE: 1/4"=1'-0"



D EXISTING EXTERIOR SIDE' ELEVATION
 A103 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.



FOUNDATION/BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTE:
ALL FOUNDATIONS AND STRUCTURAL MEMBERS SHOWN IN THESE PLANS ARE FOR BIDDING PURPOSES ONLY. FINAL SIZES ARE TO BE DETERMINED BY OTHERS AND MEMBER SIZES TO BE SUBMITTED TO BUILDING DEPARTMENT ALONG WITH PLANS.

NOTE:
CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

STRUCTURAL NOTES:

FOUNDATION NOTES

SOIL BEARING CAPACITY 1500 PSF

ALL NEW FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL OF DESIGN CAPACITY. MINIMUM DEPTH SHALL BE 3'-6" BELOW GRADE UNLESS NOTED OTHERWISE. EXCAVATE FOOTINGS DOWN TO THE ELEVATIONS INDICATED ON THE FOUNDATION PLANS OR FOOTING SCHEDULE. IF SOIL CONDITIONS ARE ENCOUNTERED OTHER THAN WHAT IS DESCRIBED ABOVE, CONSULT WITH THE BUILDER.

ALL CONCRETE FOR FOOTINGS TO BE 5 1/2 SACK 3000 PSI DESIGN STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.

REINFORCING STEEL SHALL CONFORM TO ASTM STANDARD SPECIFICATION A-615, GRADE 60, AND TO BE INSTALLED AND TIED AS PER DRAWINGS AND THE LATEST EDITION OF CRSI PRINTED STANDARDS.

ALL CONCRETE WORK TO BE INSTALLED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF ACI CODE STANDARDS.

ALL FOOTINGS TO BE FORMED WITH 1/2" FORMS TO THE SHAPE INDICATED ON THE DRAWINGS. EXCAVATIONS MAY BE USED WITHOUT FORMS IF CUT STRAIGHT, TRUE, AND TO THE PROPER SIZE AND APPROVED BY THE LOCAL BUILDING AUTHORITY.

ALL CONCRETE FLAT SLABS SHALL BE 6 SACK - 4000 PSI DESIGN STRENGTH AT 28 DAYS. ALL REINFORCING SHALL BE AS SHOWN ON THE DRAWINGS.

PROVIDE AIR ENTRAINMENT (6%) CONCRETE FOR ALL WORK EXPOSED TO THE WEATHER.

DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL FLOOR SLABS ARE IN PLACE.

ALL FOOTINGS ARE TO REST ON FIRM UNDISTURBED SOIL, OF BEARING CAPACITY NOTED, REGARDLESS OF ELEVATIONS SHOWN ON DRAWINGS. WHERE ROCK OR SHALE IS THE BEARING MATERIAL PROVIDE 6" DEEP PENETRATION.

ALL SOIL SURROUNDING AND UNDER FOOTINGS SHALL BE PROTECTED FROM FROST ACTION AND FREEZING DURING THE COURSE OF CONSTRUCTION.

BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 1'-0" BELOW EXISTING GRADE.

STEP BOTTOM OF FOOTING WHERE REQUIRED, AT A RATE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL MAXIMUM VERTICAL STEP 2'-0".

WHERE FOOTINGS ARE IN CLOSE PROXIMITY OF SEWERS, BOTTOM OF FOOTINGS SHALL BE AT LEAST 8" BELOW INVERT ELEVATION OF SEWERS.

KEEP FOUNDATION EXCAVATIONS FREE OF WATER AT ALL TIMES.

USE LEAN CONCRETE (10% 5000 PSI) FOR OVER-EXCAVATION OF FOOTINGS AND REPLACEMENT OF WEAKENED SOIL.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE

52 CLOUSE AVENUE / AKRON, OHIO 44333

Foundation/
Basement
Floor Plan

Project number:

Date: 09-27-2025

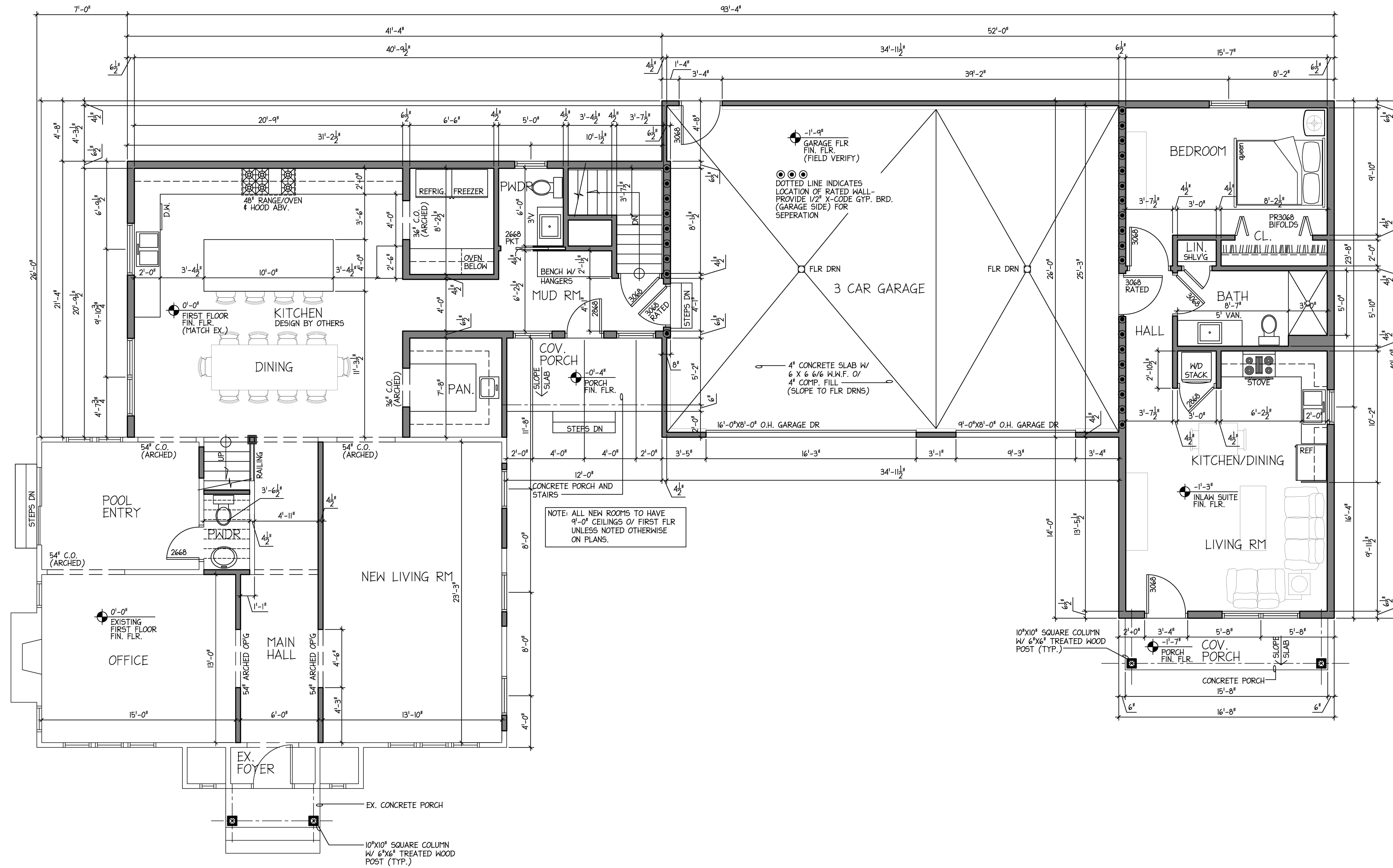
Revisions:

Drawn by: B. Bigelow

Checked by: BSB

A104

Scale: See Plan



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

**First Floor
 Plan**

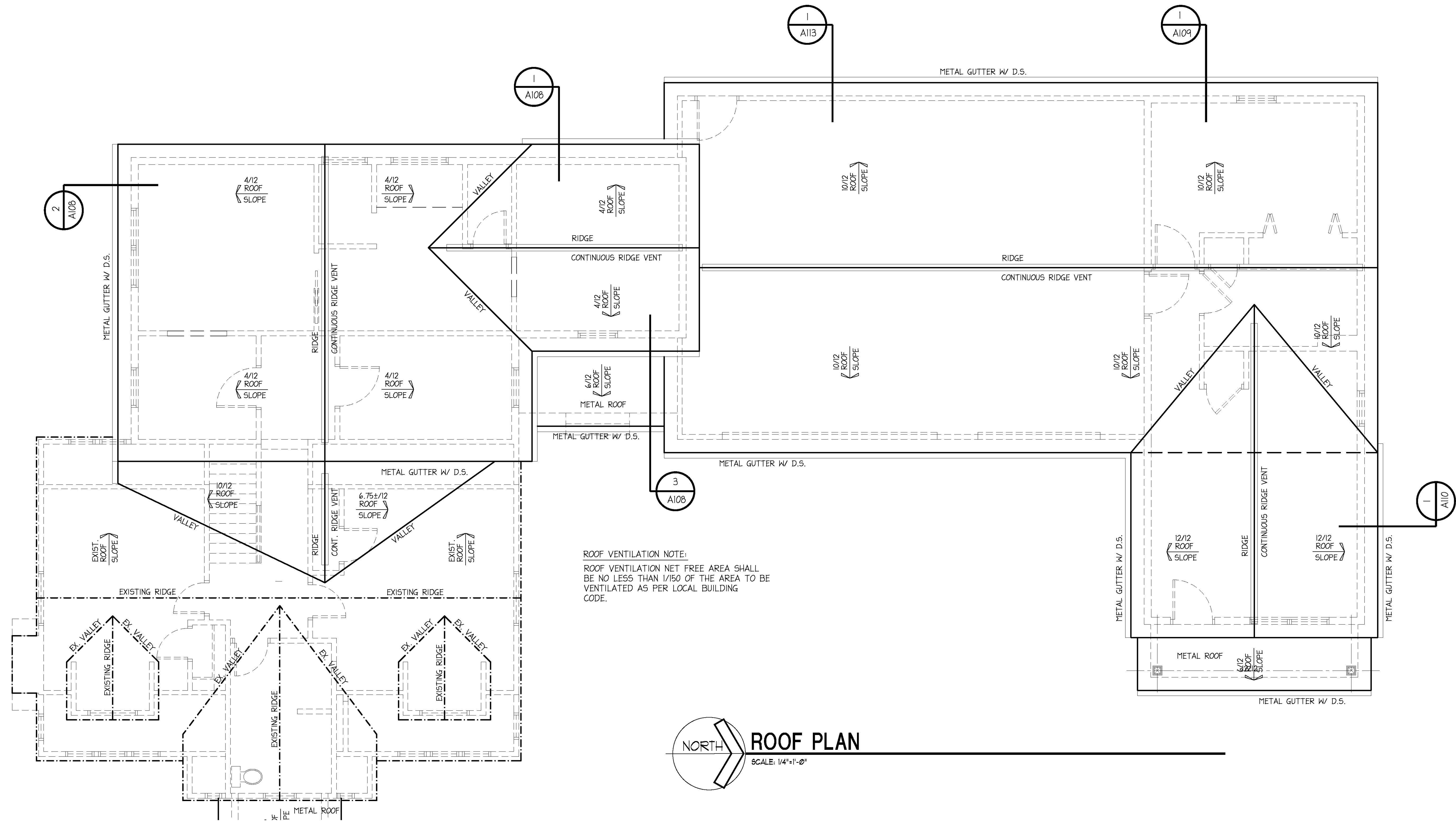
Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A105

Scale: See Plan

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333



ROOF VENTILATION NOTE:
 ROOF VENTILATION NET FREE AREA SHALL
 BE NO LESS THAN 1/150 OF THE AREA TO BE
 VENTILATED AS PER LOCAL BUILDING
 CODE.

ROOF PLAN
 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:
MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

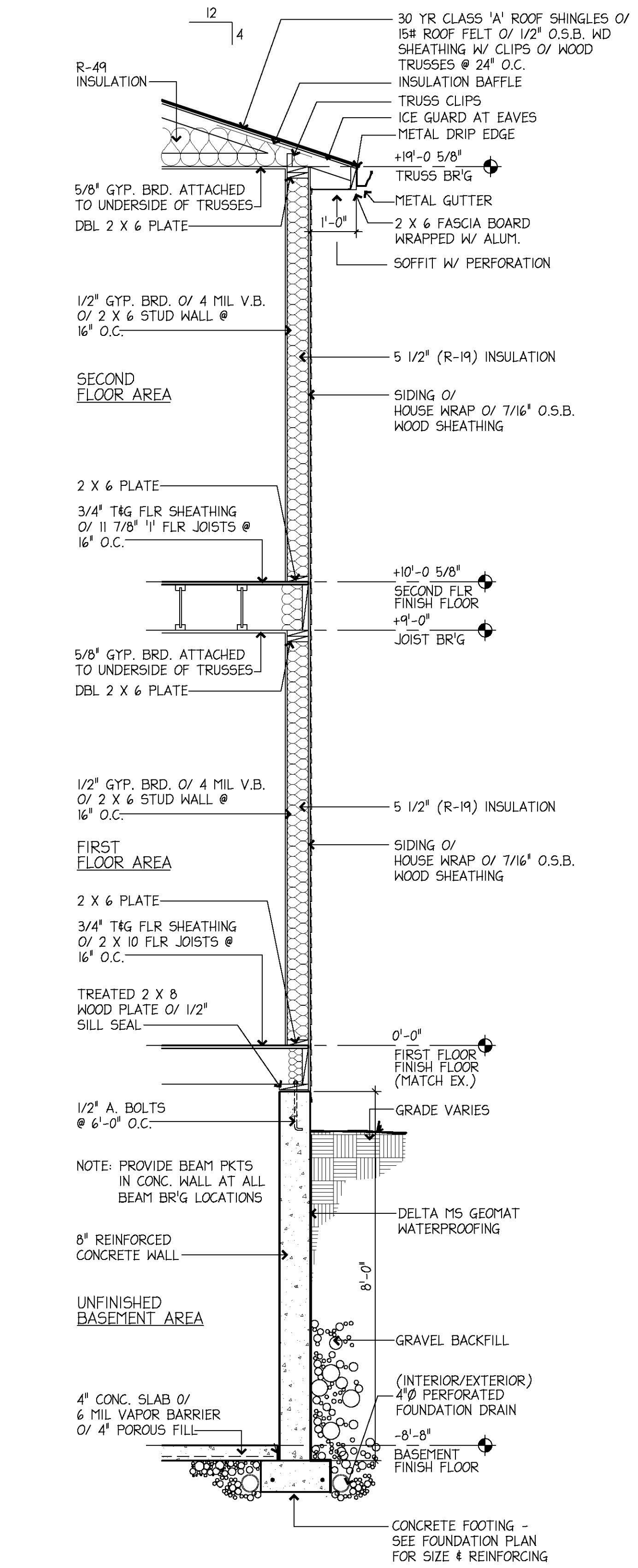
Roof Plan

Project number:
 Date: 09-27-2025
 Revisions:

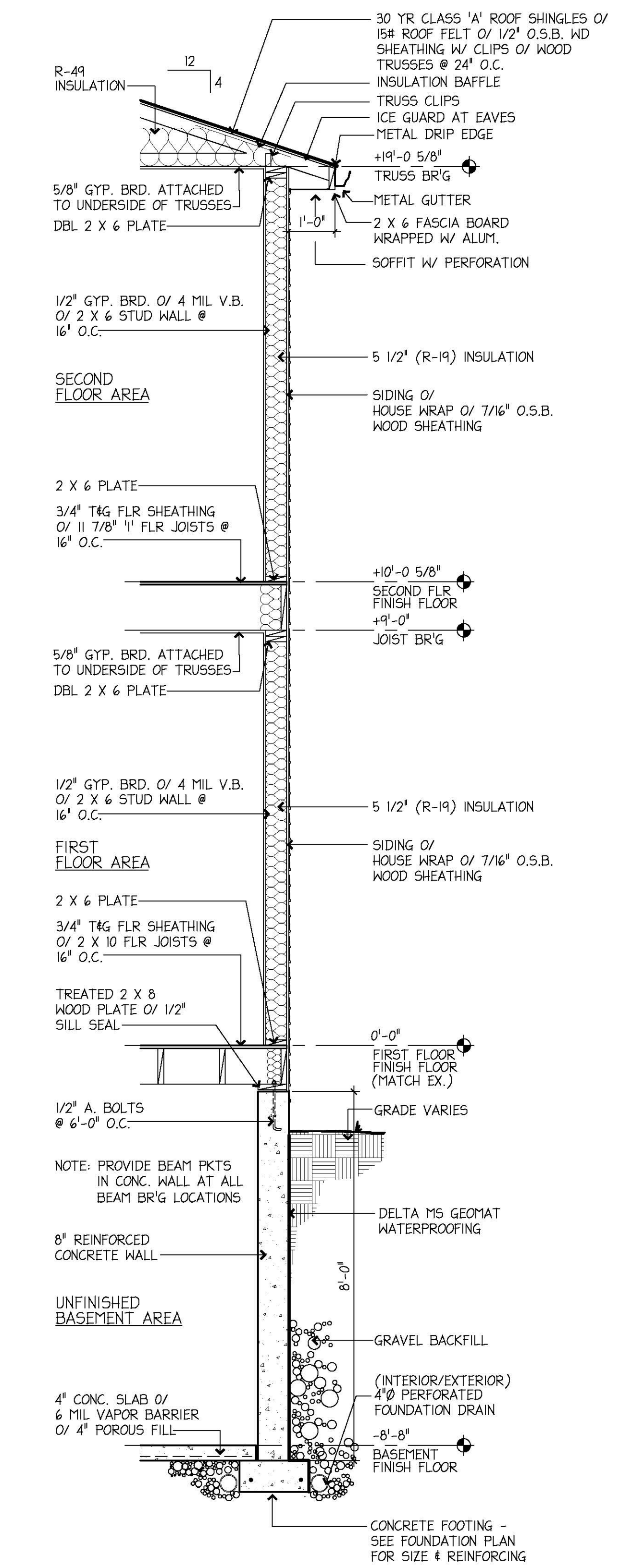
Drawn by: B. Bigelow
 Checked by: BSB

A107

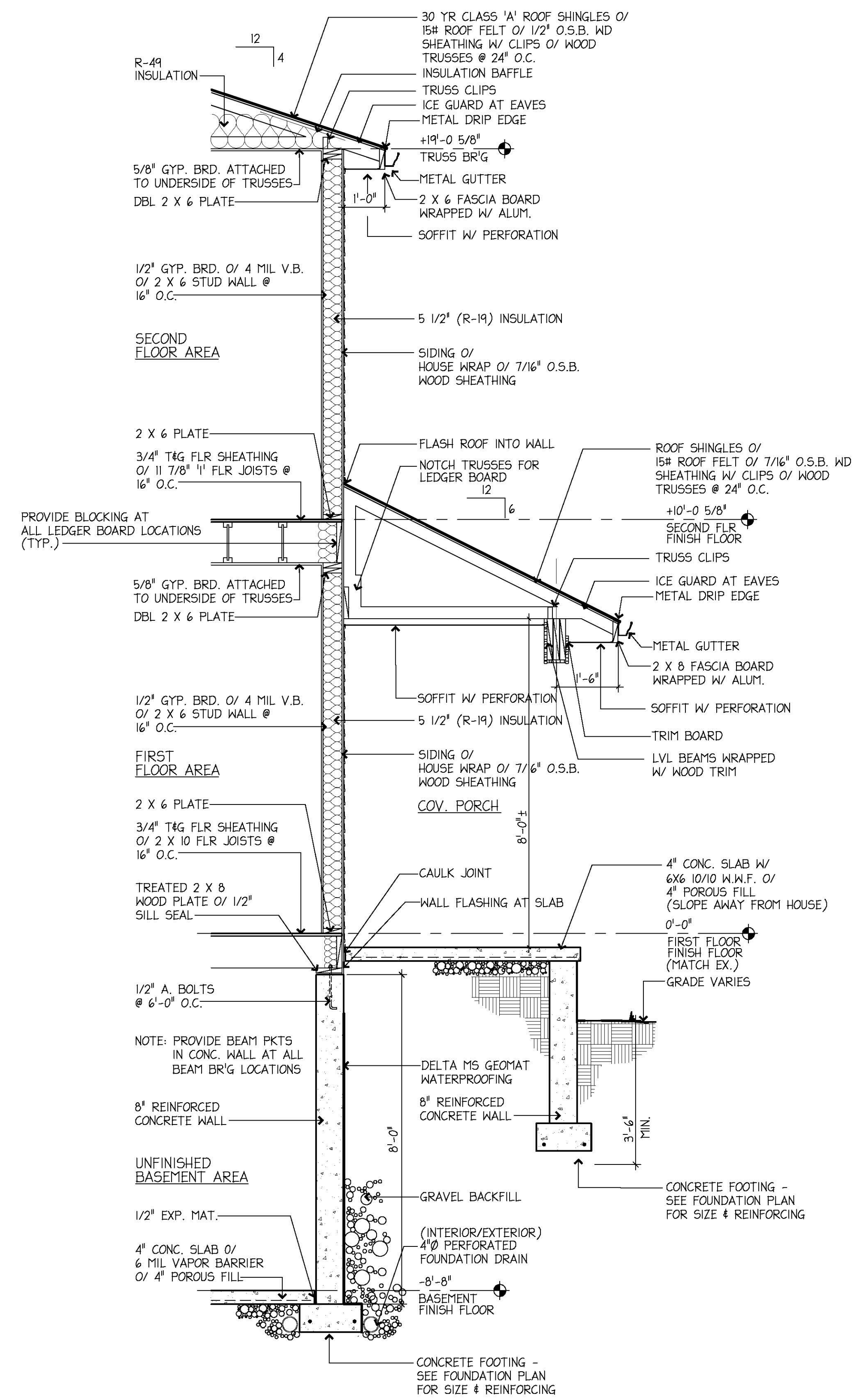
Scale: See Plan



1 WALL SECTION
SCALE: 1/2"=1'-0"



2 WALL SECTION
SCALE: 1/2"=1'-0"



3 WALL SECTION
SCALE: 1/2"=1'-0"

NOTE:
CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:
MESSNER RESIDENCE
52 CLOUSE AVENUE / AKRON, OHIO 44333

Wall Sections

Project number:
Date: 09-27-2025
Revisions:

Drawn by: B. Bigelow
Checked by: BSB

A108
Scale: See Plan

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Exterior Elevations w/ Section

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A109

Scale: See Plan

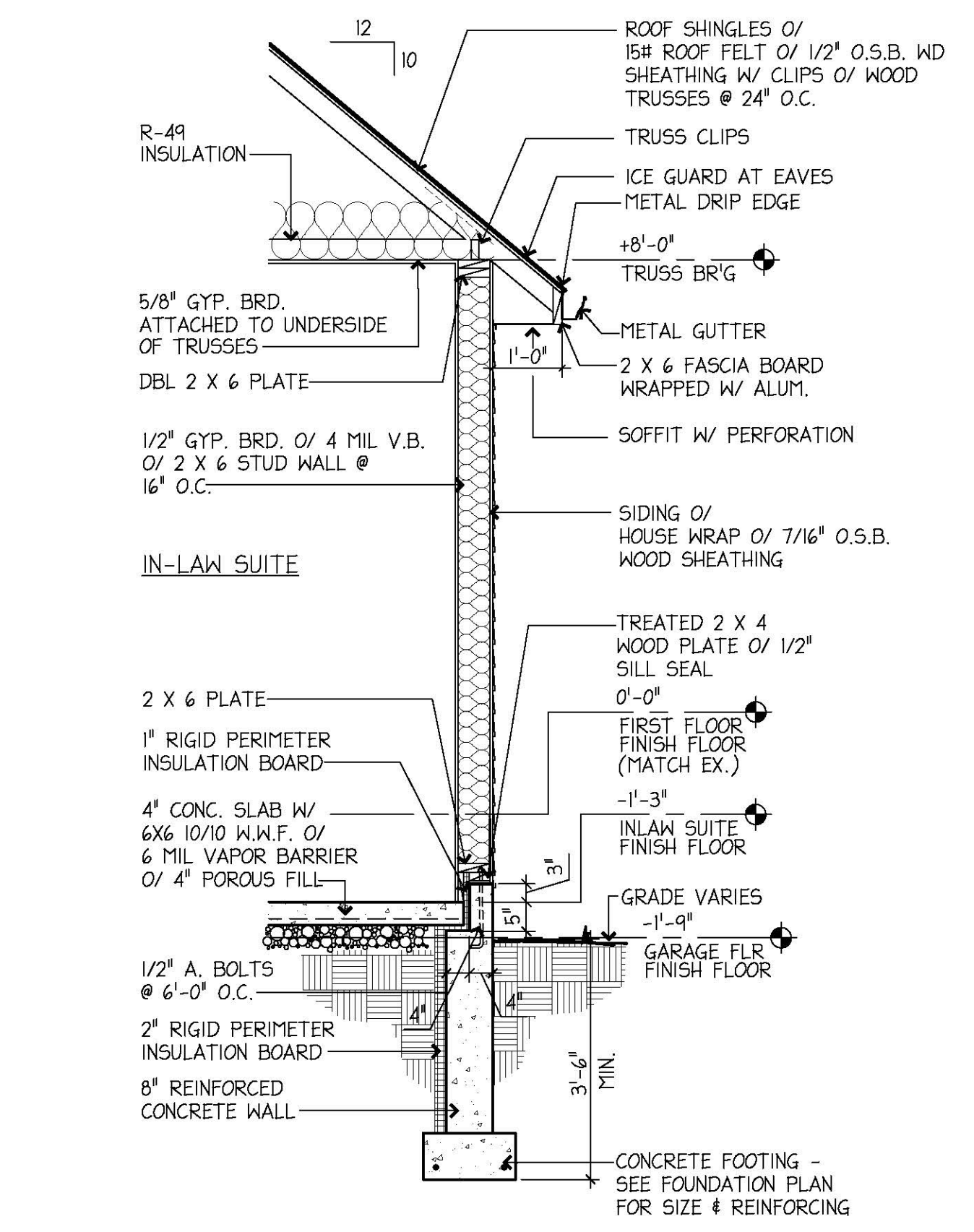


A EXTERIOR 'FRONT' ELEVATION
 SCALE: 1/4"=1'-0"

WINDOWS NOTE:
 WINDOW SIZES SHOWN FOR REFERENCE ONLY - FINAL SELECTION TYPE, MANUF. & SIZE TO BE DETERMINED BY BUILDER AND COMPLY W/ NOTE BELOW (SIZES SHOWN IN INCHES)
WINDOW EGRESS NOTE:
 WINDOW TYPE AND SIZE AS PER OWNER - SIZE WINDOWS IN BEDROOM AREAS FOR EGRESS - (5.7 SQ. FT. CLEAR OPENING - 20" MIN. WIDTH & 24" MIN. HEIGHT W/ 44" MAX. SILL HEIGHT A.F.F.)

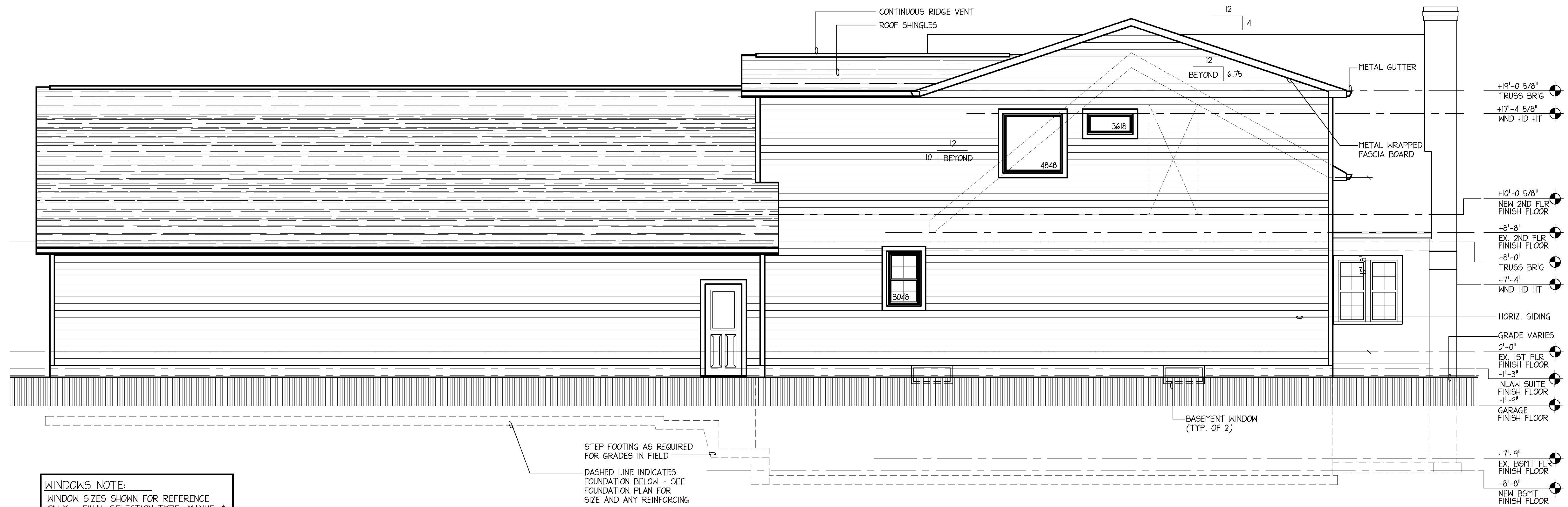


B EXTERIOR 'SIDE' ELEVATION
 SCALE: 1/4"=1'-0"



1 WALL SECTION
 SCALE: 1/2"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.



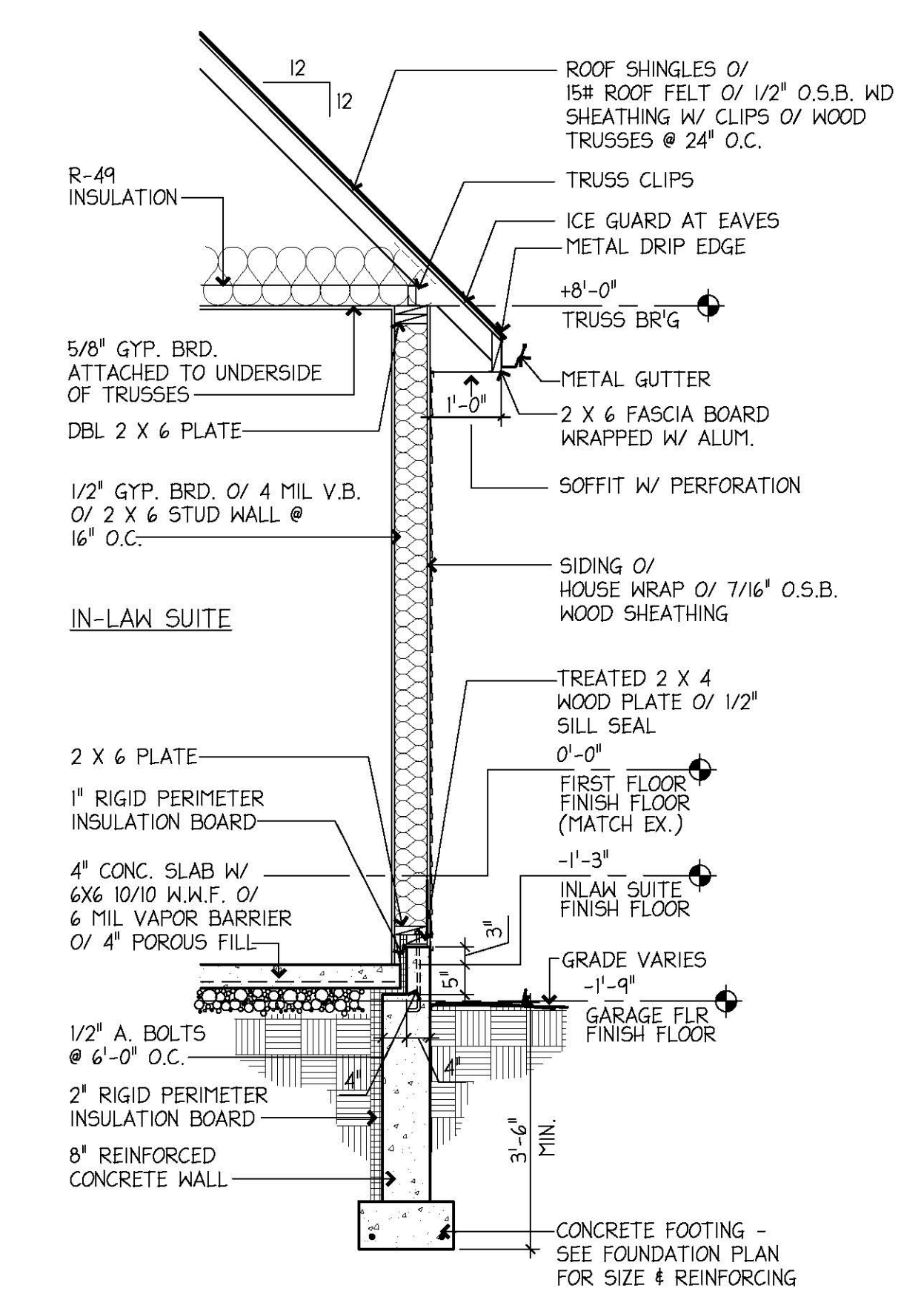
A EXTERIOR 'REAR' ELEVATION
 SCALE: 1/4"=1'-0"

WINDOWS NOTE:
 WINDOW SIZES SHOWN FOR REFERENCE ONLY - FINAL SELECTION TYPE, MANUF. & SIZE TO BE DETERMINED BY BUILDER AND COMPLY W/ NOTE BELOW (SIZES SHOWN IN INCHES)
WINDOW EGRESS NOTE:
 WINDOW TYPE AND SIZE AS PER OWNER - SIZE WINDOWS IN BEDROOM AREAS FOR EGRESS - (5.7 SQ. FT. CLEAR OPENING - 20" MIN. WIDTH & 24" MIN. HEIGHT W/ 44" MAX. SILL HEIGHT A.F.F.)



B EXTERIOR 'SIDE' ELEVATION
 SCALE: 1/4"=1'-0"

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS & ELEVATIONS IN FIELD PRIOR TO WORK BEGINNING AND CONTRACTOR/BUILDER SHALL COORDINATE AS REQUIRED.



1 WALL SECTION
 SCALE: 1/2"=1'-0"

BUILDER:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

PROPOSED NEW HOME ADDITION PLANS FOR:

Exterior Elevations w/ Section

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A110
 Scale: See Plan

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

First Floor
 Framing Plan

Project number:

Date: 09-27-2025

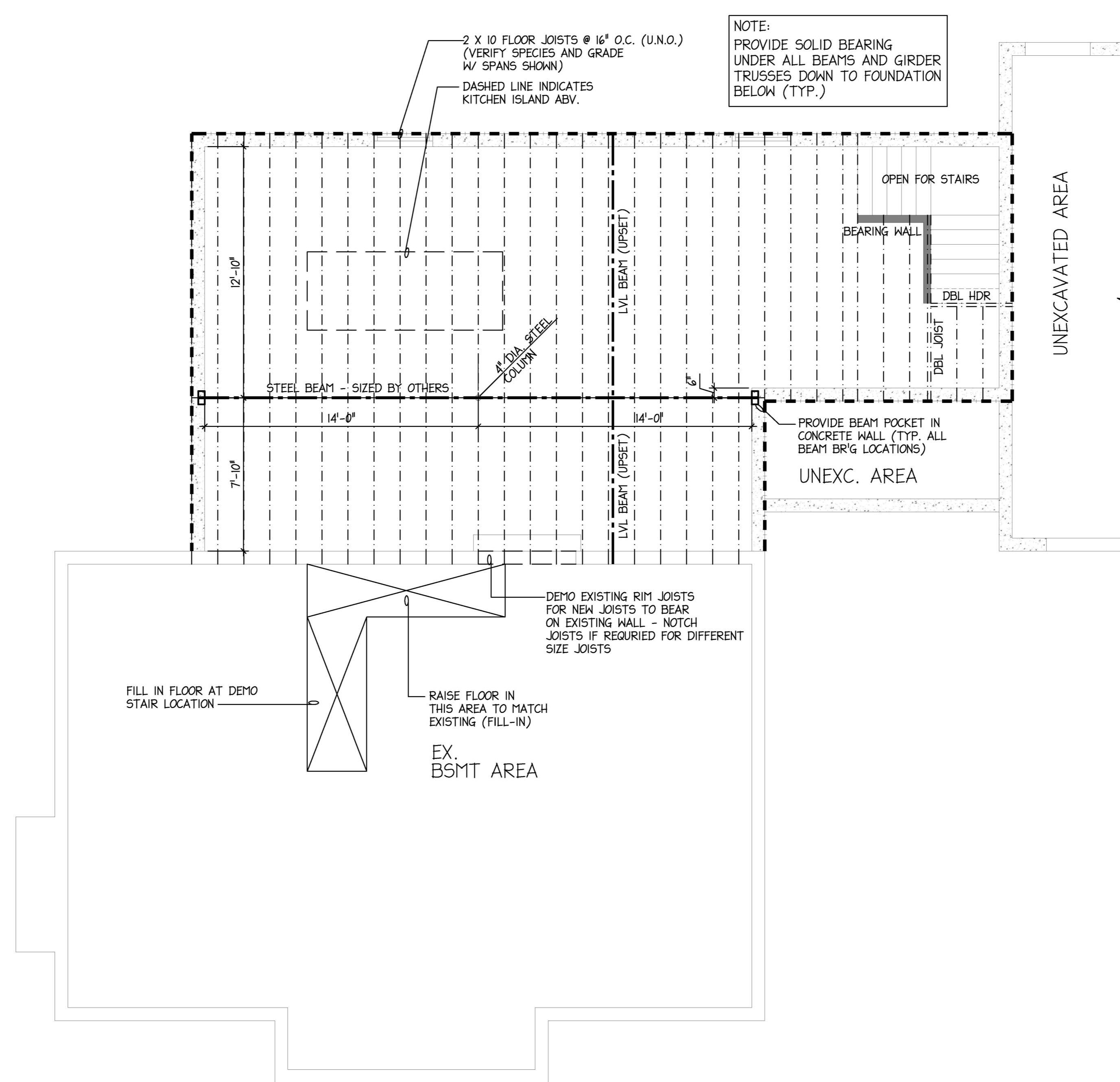
Revisions:

Drawn by: B. Bigelow

Checked by: BSB

A111

Scale: See Plan



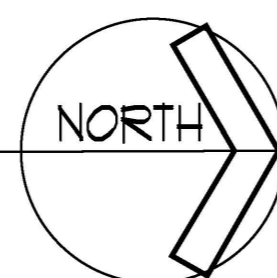
NOTE:
 PROVIDE SOLID BEARING
 UNDER ALL BEAMS AND GIRDER
 TRUSSES DOWN TO FOUNDATION
 BELOW (TYP.)

FILL IN FLOOR AT DEMO
 STAIR LOCATION

RAISE FLOOR IN
 THIS AREA TO MATCH
 EXISTING (FILL-IN)

EX.
 BSMT AREA

DEMO EXISTING RIM JOISTS
 FOR NEW JOISTS TO BEAR
 ON EXISTING WALL - NOTCH
 JOISTS IF REQUIRED FOR DIFFERENT
 SIZE JOISTS



FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

NOTE:
 ALL STRUCTURAL MEMBERS SHOWN IN THESE
 PLANS ARE FOR BIDDING PURPOSES ONLY. FINAL
 SIZES ARE TO BE DETERMINED BY OTHERS AND MEMBER SIZES TO BE
 SUBMITTED TO BUILDING DEPARTMENT ALONG WITH PLANS.

STRUCTURAL NOTES:

WOOD FRAMING NOTES

SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR
 ADDITIONAL INFORMATION RELATED TO THE STRUCTURAL WORK AND
 COORDINATE AS REQUIRED.

DETAIL, FABRICATE, AND ERECT STRUCTURAL WOOD IN STRICT ACCORDANCE
 WITH THE LATEST AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
 STANDARDS AND SPECIFICATIONS, AND THESE DRAWINGS.

STRESS-GRADE LUMBER FOR JOISTS, BEAMS, AND COLUMNS SHALL
 BE DOUGLAS FIR - LARCH NO2 AND SHALL DEVELOP A WORKING STRESS
 OF 1250 PSI (1450 PSI WHEN USED AS REPETITIVE MEMBERS) IN BENDING WITH A
 MINIMUM OF 1100000 PSI MODULUS OF ELASTICITY.

STUD WALLS, WOOD BLOCKING, ETC. SHALL BE ENGELMANN SPRUCE
 "CONSTRUCTION GRADE" AND DEVELOP A WORKING STRESS OF 1000 PSI
 (800 PSI WHEN USED AS A REPETITIVE MEMBER) IN BENDING WITH A MINIMUM
 OF 1000000 PSI MODULUS OF ELASTICITY.

CONSTRUCTION LOADS SUCH AS PLYWOOD AND SHINGLES SHALL BE PLACED
 ADJACENT TO THE SUPPORTS WITHOUT EXCESSIVE CONCENTRATION.

ALL WOOD TRUSSES SHALL BE DESIGNED AND FABRICATED IN STRICT
 ACCORDANCE WITH THE TRUSS PLATE INSTITUTE (TPI-16) OR LATEST
 EDITION.

ALL WOOD TRUSSES SHALL BE ERECTED AND BRACED IN STRICT ACCORDANCE
 WITH BRACING WOOD TRUSSES (BWT-16) OR LATEST EDITION.

THE WOOD TRUSS MANUFACTURER IS TO FURNISH CERTIFIED ENGINEERING
 TRUSS DRAWINGS WHICH INDICATE MEMBER AND JOIST SIZE, LOADING,
 LUMBER STRENGTH, AND BRACING REQUIREMENTS FOR THE BUILDERS
 & BUILDING DEPT. APPROVAL.

THE TRUSS SUPPLIER SHALL PROVIDE ALL REQUIRED CONNECTORS,
 BRACING, AND ANCHORS AS APPROVED BY THE TRUSS ENGINEER OR
 OTHERWISE REQUIRED.

CONTRACTOR SHALL INSTALL ALL CONNECTORS, BRACING, AND ANCHORS
 PROVIDED BY THE TRUSS SUPPLIER.

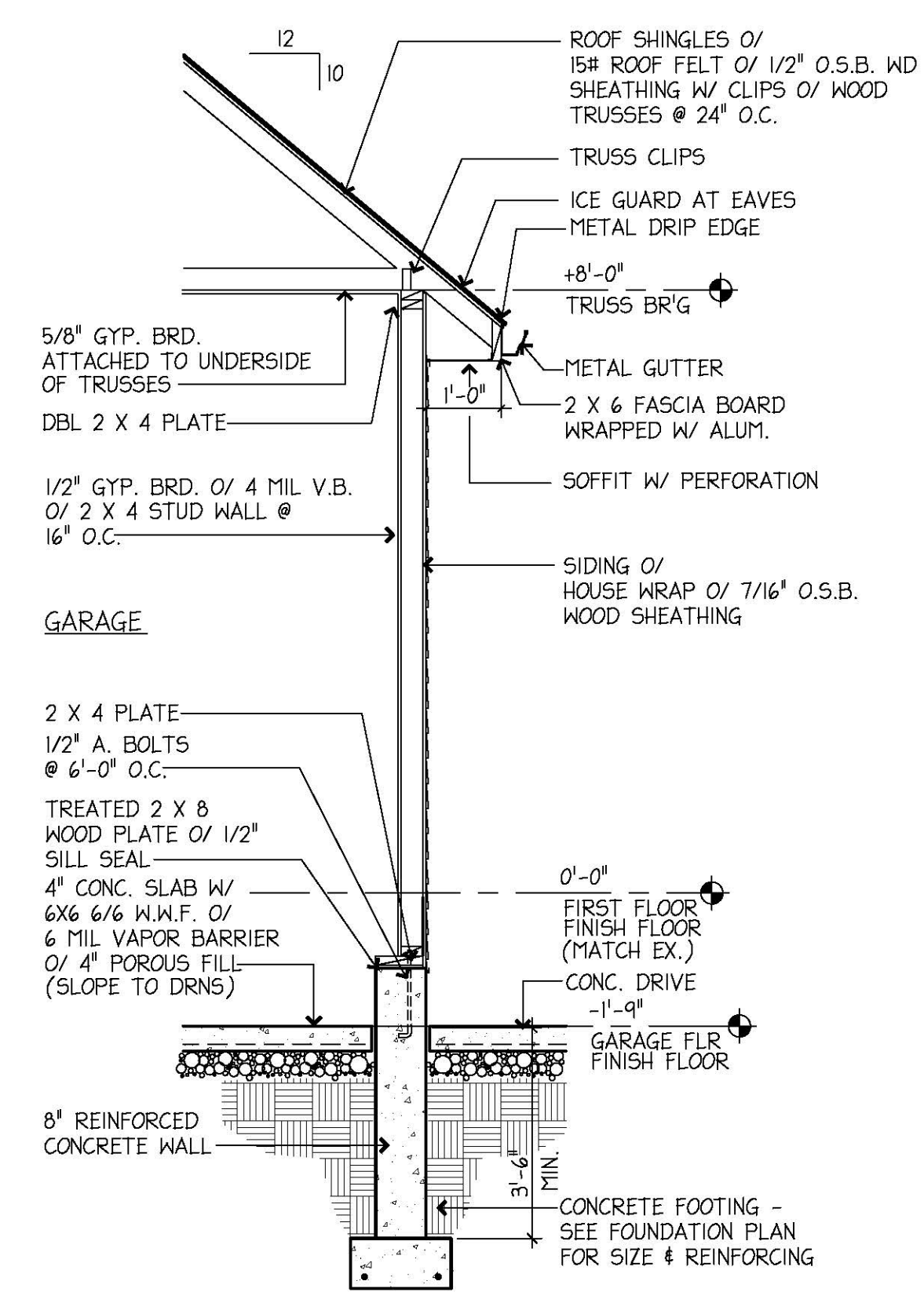
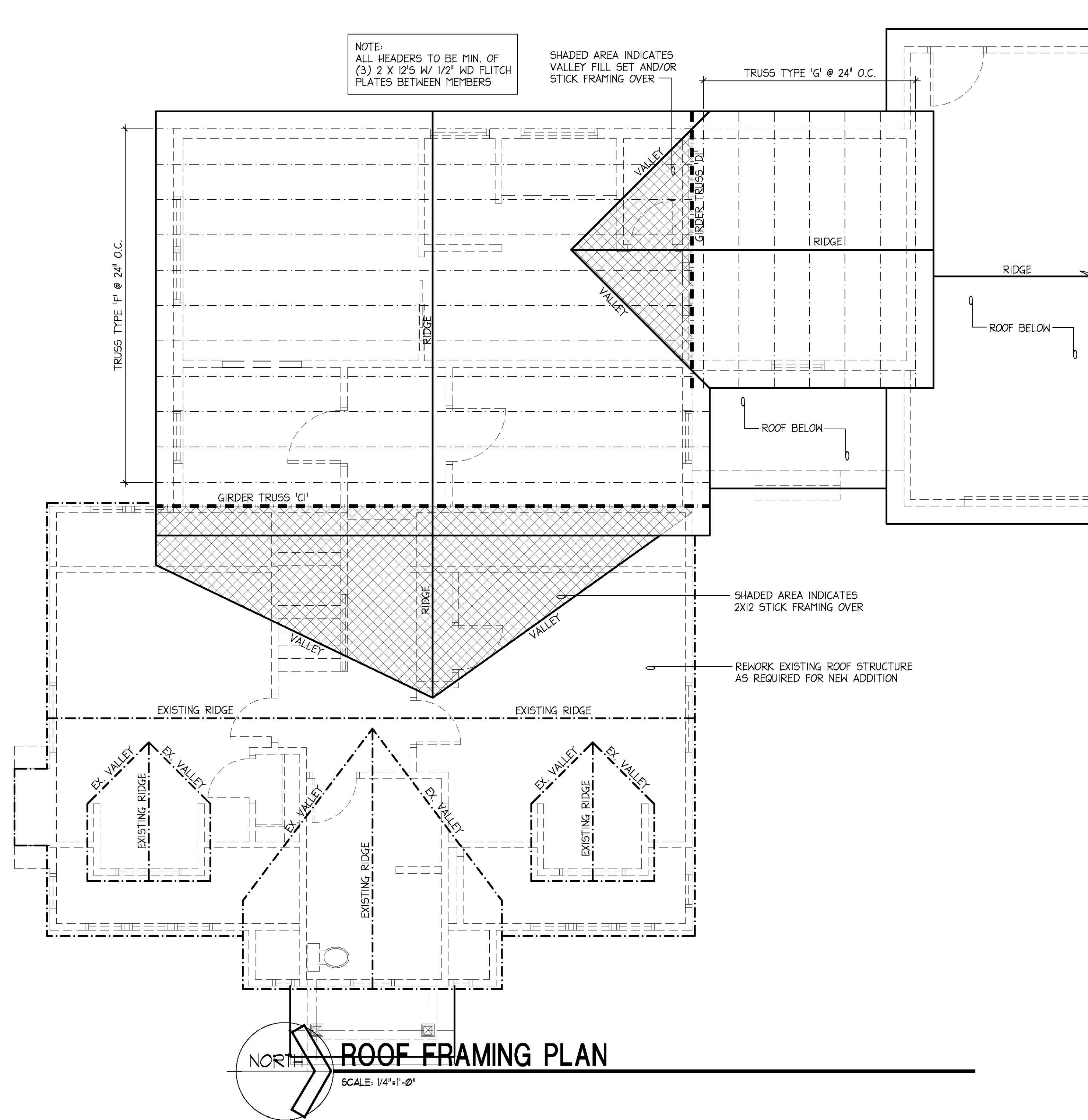
CONTRACTOR SHALL ANCHOR ROOF MEMBERS TO WOOD PLATE, LEDGERS, ETC.
 WITH METAL ANCHOR CLIPS AS INDICATED ON THE DRAWINGS.

CONTRACTOR SHALL PROVIDE DIAGONAL WINDBRACING AT ALL EXTERIOR
 WALLS AS REQUIRED BY ALL GOVERNING CODES.

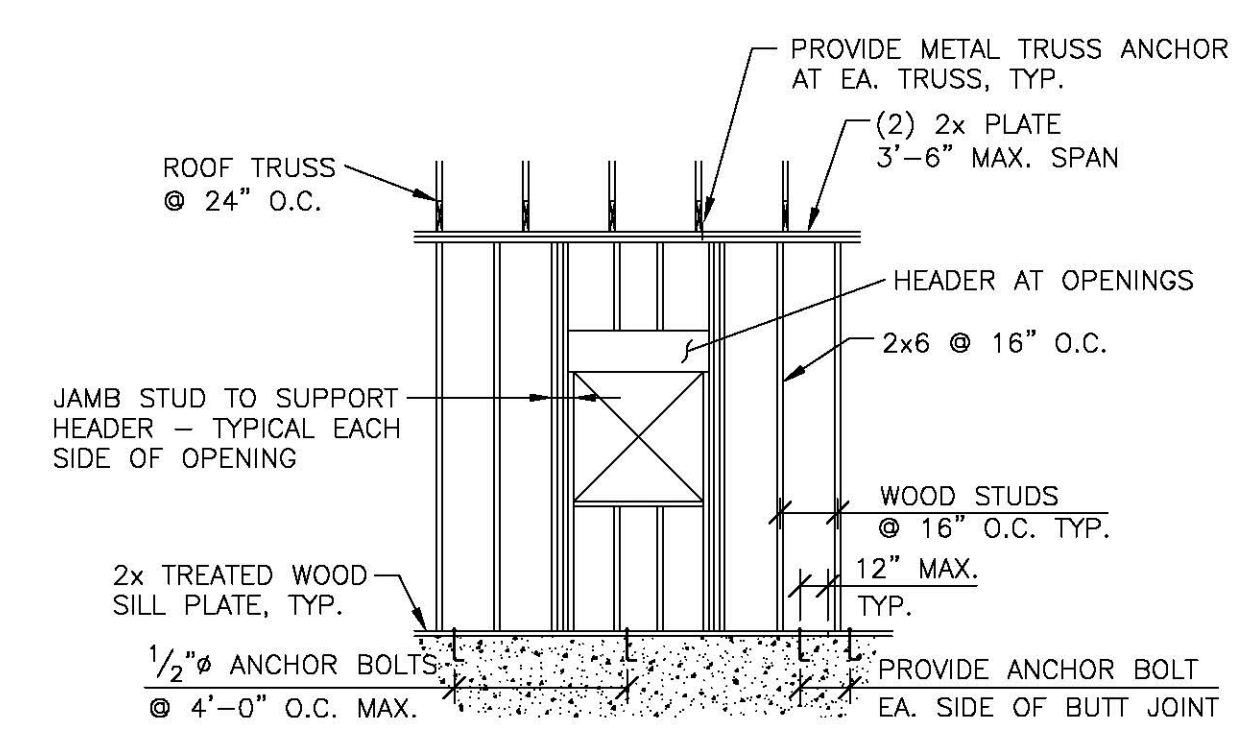
CONTRACTOR SHALL PROVIDE AND INSTALL GALVANIZED METAL JOIST
 HANGERS FOR ALL JOISTS, BEAMS, AND HEADERS THAT BUTT TO ADJACENT
 STRUCTURAL COMPONENTS. THOSE BEARING A MINIMUM OF 1 1/2" ON
 WALLS OR BEAMS DO NOT REQUIRE HANGERS.

LOADING SCHEDULE

SLOPED ROOF LOADING	FLOOR LOADING
25 PSF LIVE LOAD	40 PSF LIVE LOAD
20 PSF DEAD LOAD	10 PSF DEAD LOAD
45 PSF TOTAL	50 PSF TOTAL



1 WALL SECTION
 A113 SCALE: 1/2"=1'-0"



TYPICAL WALL ELEVATION

- NOTES:**
- AT WALL LOCATIONS WHERE MULTIPLE STUDS ARE REQUIRED TO SUPPORT VERTICAL LOADS, A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO SUPPORT THOSE LOADS THROUGH THE STRUCTURE TO THE FOUNDATIONS. THIS MAY BE ACCOMPLISHED THROUGH THE USE OF RIM JOISTS, SQUASH BLOCKS OR OTHER APPROPRIATE MEANS BASE ON LOCATION AND DETAILING CONSIDERATIONS.
 - PROVIDE A MINIMUM ONE STUD FOR EACH STUD OCCURRING ON THE FLOOR ABOVE UNLESS ADDITIONAL STUDS ARE ALSO REQUIRED.

NOTE:
 CONTRACTOR/BUILDER SHALL VERIFY ALL
 DIMENSIONS & ELEVATIONS IN FIELD PRIOR
 TO WORK BEGINNING AND CONTRACTOR/BUILDER
 SHALL COORDINATE AS REQUIRED.

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

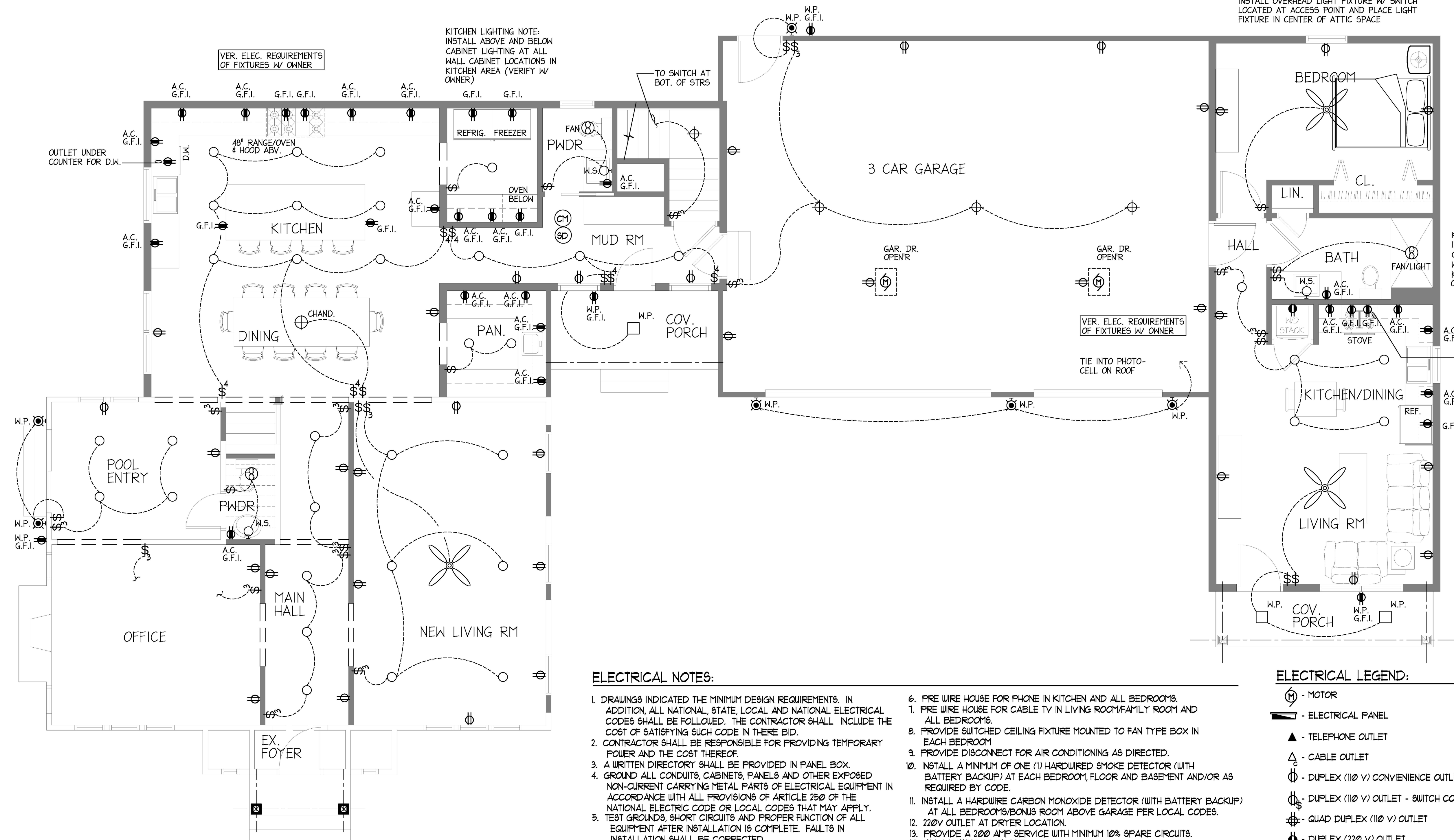
MESSNER RESIDENCE
 52 CLOUSE AVENUE / AKRON, OHIO 44333

Roof
 Framing Plan
 w/ Section

Project number:
 Date: 09-27-2025
 Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A113
 Scale: See Plan



ELECTRICAL FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 NORTH

ELECTRICAL NOTES:

- DRAWINGS INDICATED THE MINIMUM DESIGN REQUIREMENTS. IN ADDITION, ALL NATIONAL, STATE, LOCAL AND NATIONAL ELECTRICAL CODES SHALL BE FOLLOWED. THE CONTRACTOR SHALL INCLUDE THE COST OF SATISFYING SUCH CODE IN THERE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER AND THE COST THEREOF.
- A WRITTEN DIRECTORY SHALL BE PROVIDED IN PANEL BOX.
- GROUND ALL CONDUITS, CABINETS, PANELS AND OTHER EXPOSED NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ALL PROVISIONS OF ARTICLE 250 OF THE NATIONAL ELECTRIC CODE OR LOCAL CODES THAT MAY APPLY.
- TEST GROUNDS, SHORT CIRCUITS AND PROPER FUNCTION OF ALL EQUIPMENT AFTER INSTALLATION IS COMPLETE. FAULTS IN INSTALLATION SHALL BE CORRECTED.
- INSTALL A HARDWIRED CARBON MONOXIDE DETECTOR (WITH BATTERY BACKUP) AT ALL BEDROOMS/BONUS ROOM ABOVE GARAGE PER LOCAL CODES.
- 220V OUTLET AT DRYER LOCATION.
- PROVIDE A 200 AMP SERVICE WITH MINIMUM 10% SPARE CIRCUITS.
- ALL LIGHTING TO BE LED.
- INSTALL A HARDWIRED CARBON MONOXIDE DETECTOR (WITH BATTERY BACKUP) AT ALL BEDROOMS/BONUS ROOM ABOVE GARAGE PER LOCAL CODES.
- 220V OUTLET AT DRYER LOCATION.
- PROVIDE A 200 AMP SERVICE WITH MINIMUM 10% SPARE CIRCUITS.
- ALL LIGHTING TO BE LED.

ELECTRICAL LEGEND:

- ⊕ - MOTOR
- ⊞ - ELECTRICAL PANEL
- ▲ - TELEPHONE OUTLET
- △ - CABLE OUTLET
- ⊕ - DUPLEX (110 V) CONVENIENCE OUTLET - 16" AFF.
- ⊕ - DUPLEX (110 V) OUTLET - SWITCH CONTROLLED
- ⊕ - QUAD DUPLEX (110 V) OUTLET
- ⊕ - DUPLEX (220 V) OUTLET
- ⊕ - GROUND FAULT (110 V) CIRCUIT INTERRUPTOR
- ⊕ - GROUND FAULT (110 V) CIRCUIT INTERRUPTOR - WEATHERPROOF
- ⊕ - SINGLE POLE SWITCH
- ⊕ - THREE WAY SWITCH
- ⊕ - FOUR WAY SWITCH
- ⊕ - DIMMER SWITCH
- ⊕ - THERMOSTAT
- ⊕ - CARBON MONOXIDE DETECTOR - HARD WIRED
- ⊕ - SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP (DUAL SENSOR PHOTOELECTRIC & IONIZATION TYPE)
- ⊕ - EXHAUST FAN
- - RECESSED LIGHT FIXTURE
- ⊕ - OVERHEAD LIGHT FIXTURE
- ⊕ - OVERHEAD LIGHT FIXTURE W/ FULL CHAIN
- ⊕ - EXTERIOR WALL MTD LIGHT FIXTURE
- ⊕ - RECESSED LIGHT FIXTURE - WEATHERPROOF
- - PENDANT LIGHT FIXTURE
- ⊕ - CEILING FAN W/ LIGHT FIXTURE
- ⊕ - CEILING FAN
- - - - - INDICATES ELECTRICAL WIRE
 WIRE SIZE: OUTLETS (12 GA)
 LIGHT FIXTURES (14 GA)

ELECTRICAL NOTES:
 ATTIC SPACE LIGHTING:
 INSTALL OVERHEAD LIGHT FIXTURE W/ SWITCH
 LOCATED AT ACCESS POINT AND PLACE LIGHT
 FIXTURE IN CENTER OF ATTIC SPACE

KITCHEN LIGHTING NOTE:
 INSTALL ABOVE AND BELOW
 CABINET LIGHTING AT ALL
 WALL CABINET LOCATIONS IN
 KITCHEN AREA (VERIFY W/
 OWNER)

KITCHEN LIGHTING NOTE:
 INSTALL ABOVE AND BELOW
 CABINET LIGHTING AT ALL
 WALL CABINET LOCATIONS IN
 KITCHEN AREA (VERIFY W/
 OWNER)

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

Electrical
 First Floor
 Plan

Project number:
 Date: 09-27-2025

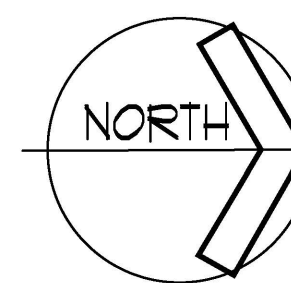
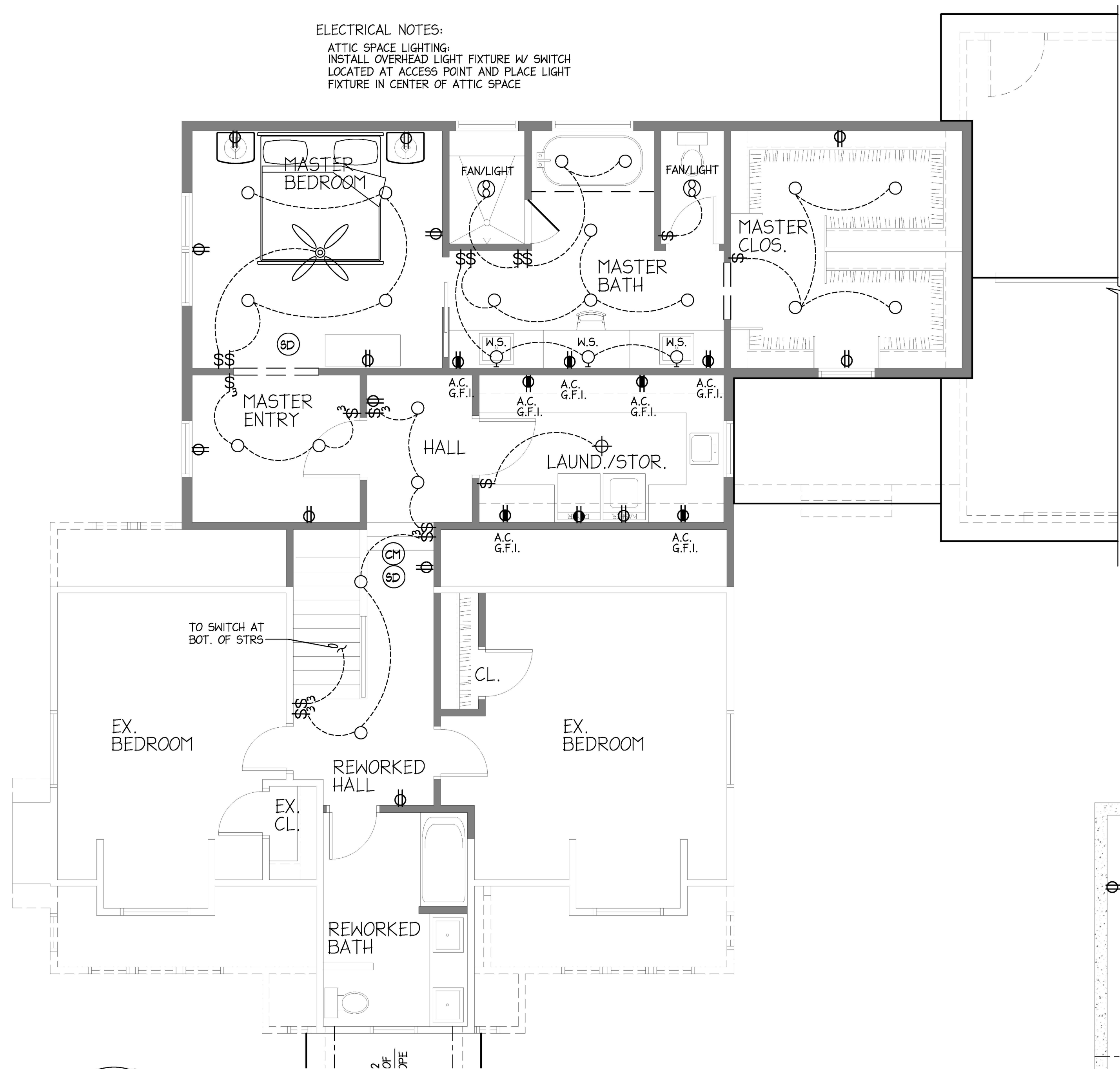
Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A114

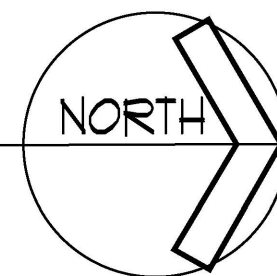
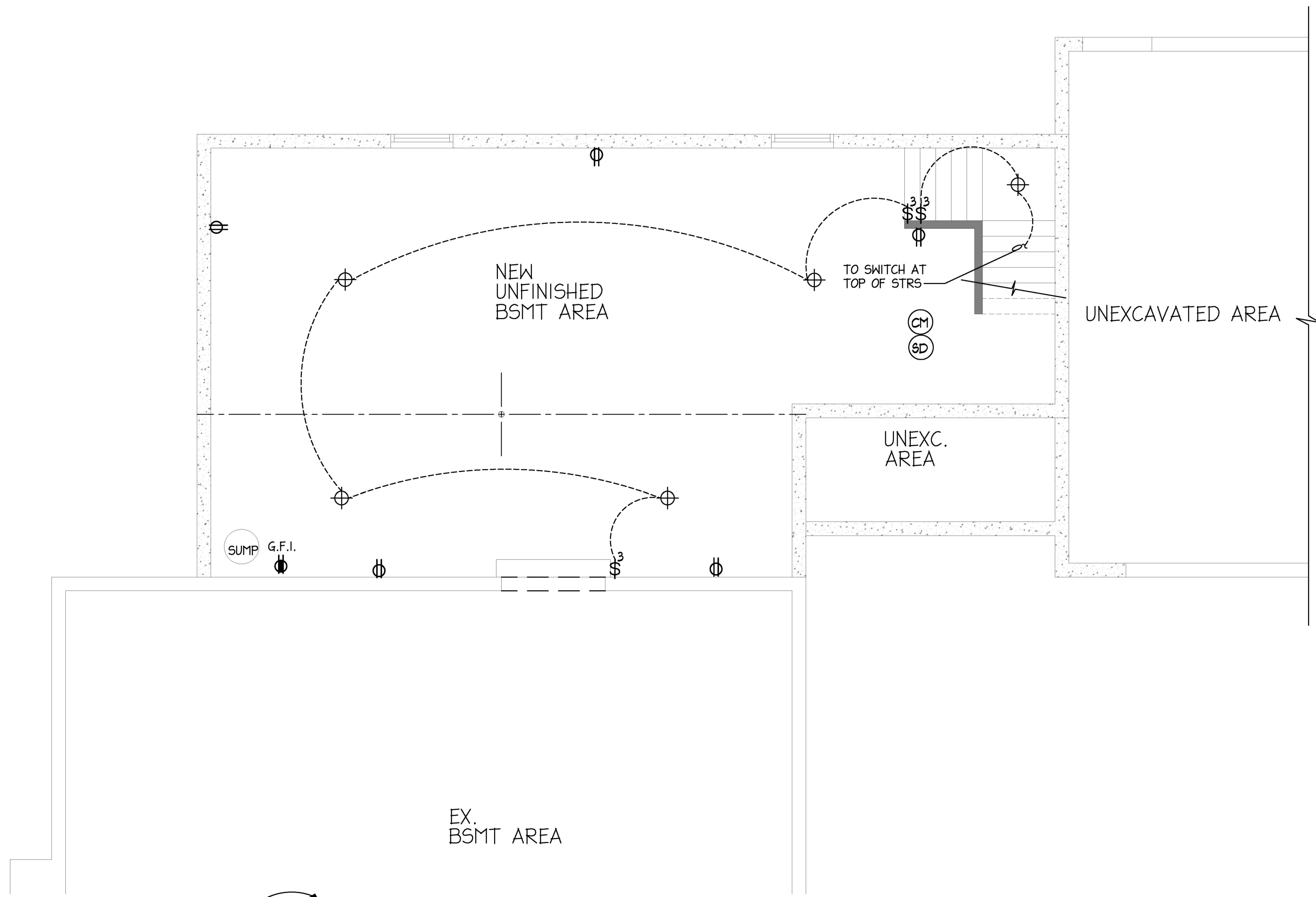
Scale: See Plan

ELECTRICAL NOTES:
 ATTIC SPACE LIGHTING:
 INSTALL OVERHEAD LIGHT FIXTURE W/ SWITCH
 LOCATED AT ACCESS POINT AND PLACE LIGHT
 FIXTURE IN CENTER OF ATTIC SPACE



ELECTRICAL SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



ELECTRICAL BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

BUILDER:

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE

52 CLOUSE AVENUE / AKRON, OHIO 44333

Electrical
 Bsmt &
 Second Floor
 Plans

Project number:
 Date: 09-27-2025

Revisions:

Drawn by: B. Bigelow
 Checked by: BSB

A115

Scale: See Plan



Summit County Public Health

1867 West Market Street ♦ Akron, Ohio 44313-6901
Phone: (330) 926-5600 ♦ Toll-free: 1 (877) 687-0002 ♦ Fax: (330) 923-6436
www.scph.org

BUILDING AND ZONING INSPECTION REPORT

Property Address: _____

City: _____ Zip: _____ Parcel ID: _____

Applicant's Information:

Name: _____ Phone #: _____

Email: _____

Address (if different): _____

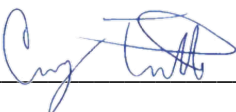
Site visit date(s): _____ City State ZipCode

Based on the inspection listed above, the project is:

- Approved** for the project as it has been proposed. Please see attached stamped plan.
- Disapproved.** The proposed project is not capable of meeting the minimum code requirements without adversely affecting the sewage treatment system (STS), private water system (PWS), or future replacement area(s).

The conclusions rendered may be without the knowledge of some of the individual parts of the STS/PWS and applies only to the date and time the conclusion was made. Therefore, this evaluation does NOT guarantee the future performance of the system(s).

Comments:

Inspector's Signature:  Date: _____

[Signature]

Sep 26 2025

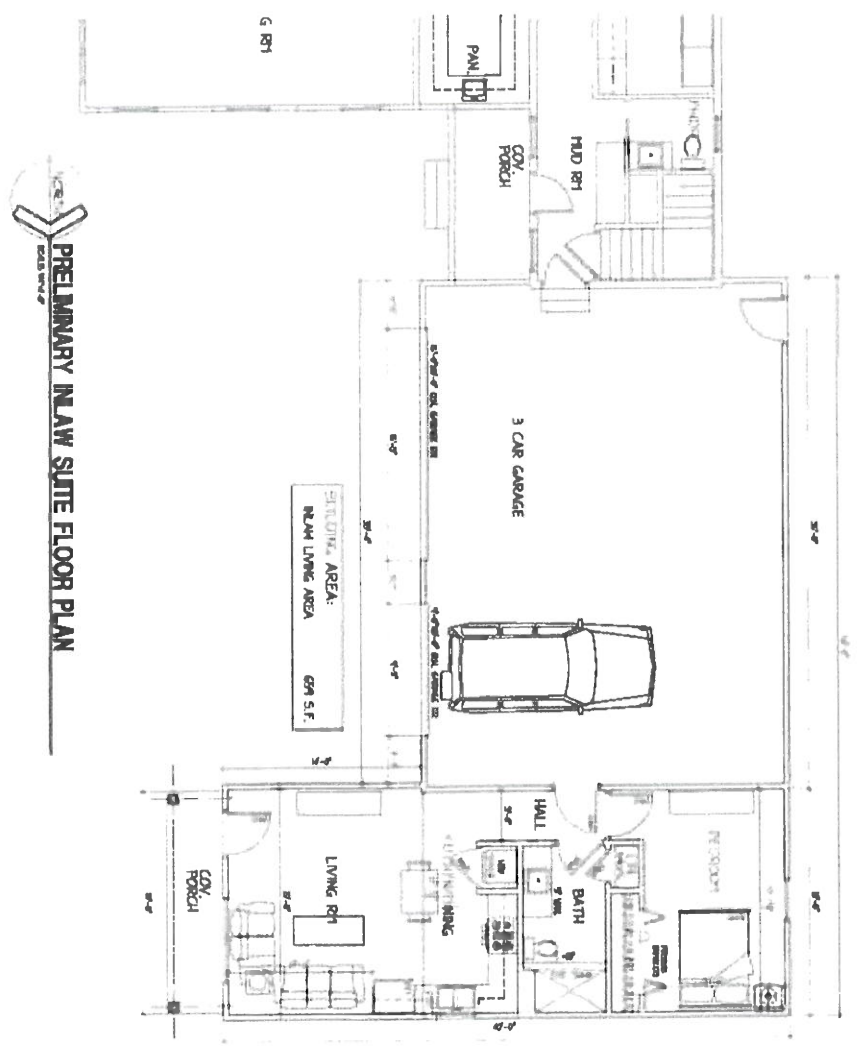
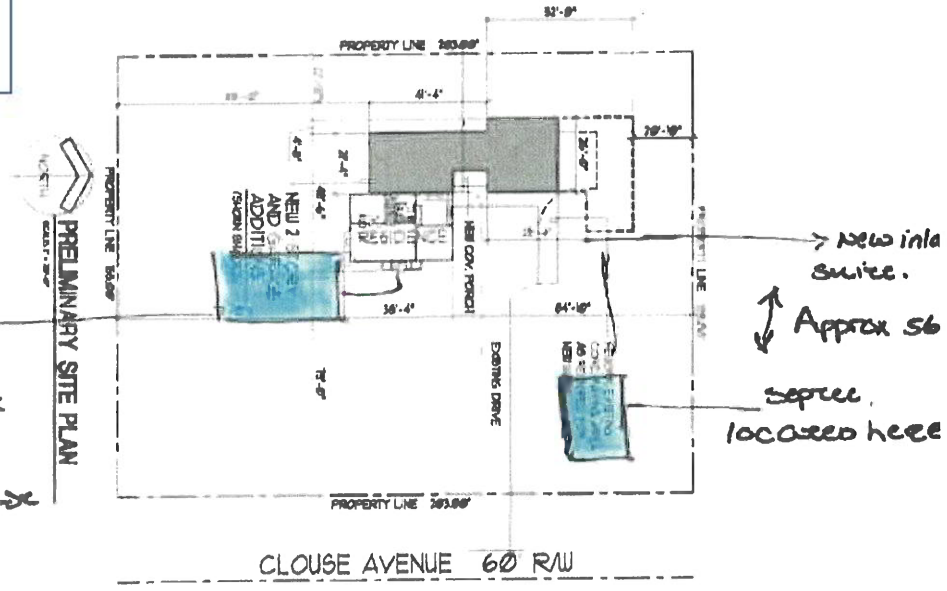
Inspector:

Date

330-926-5683

Phone Number:

well -
 approx 41'
 from front
 door of
 mce in house



A101

PROPOSED NEW HOME ADDITION PLANS FOR:

MESSNER RESIDENCE

BUILDER:

Drafted, Inc.
 425 Main Ave./Akron, Ohio 44301



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RECEIVED

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SEP 15 2025

SUMMIT COUNTY PUBLIC HEALTH
ENVIRONMENTAL DIVISION

BUILDING AND ZONING EVALUATION APPLICATION

Parcel Information:

Property Address: 52 Clouse Ave.

City: Akron Zip: 44333 Parcel ID: 0500284

Applicant's Information:

Name: MRB Custom Construction LLC Mike Pierce Phone #: 330-607-8496

Email: mrb@ohio.net

Address (if different): 12734 Clinton Rd., Doylestown, OH. 44230
City State ZipCode

Property Information and Project Details:

Sewage Disposal

- Sanitary Sewer
- Septic System

Water Source

- Municipal Water
- Private Water (well, cistern, etc.)

Please select the reason for submitting the application:

Proposed Project Type	Fee
<input checked="" type="checkbox"/> Home Addition/Remodel Addition to existing house that increases square footage, but not the number of potential bedrooms	\$125
<input type="checkbox"/> Additional Property Features Garage, shed, accessory buildings, pond, swimming pool, deck, etc.	
<input type="checkbox"/> One Bedroom Addition This is defined as the addition of habitable space which includes, but is not limited to: a bedroom, office, den, etc.	

Brief Project Description

Demo Existing Garage and bedroom above the garage. Add 2 story addition with new master bedroom, bathroom, laundry room, kitchen & Dining Room. Will have same number of bedrooms once project is complete as existing house 3 bedrooms. Site plan is on cover page of the drawings.

The attached drawing includes the location of all septic system components and private water systems and distances, in feet, to the proposed project.

I understand that any approval or disapproval is based on the information I have provided and any change in this information may result in a voided approval. This evaluation may not be used as an assessment of the septic or private water system.

Michael D. Pierce
Signature of Applicant

9/13/25
Date

Received by: C. Boyd
 Amount: \$ 125.00
 Cash
 Credit card
 Check #: 7021
 Invoice No: #5-20220